



FINAL APPROVAL 8/9/2023  
PROJECT NUMBER: SDRMF-2023-00027

**ENGINEERING**  
PCSO / DETENTION / DRAINAGE PLAN  
**EROSION CONTROL**  
**URBAN FORESTRY**  
TREE ORDINANCE  
**CDOT**

**Emily Chien**  
**Matthew Yankech**  
**Vincent Condon**  
**Jacobus Peeters**

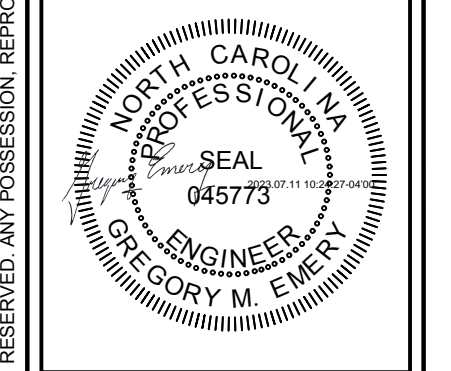
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

# 6112 TUCKASEEGEE ROAD TOWNHOMES

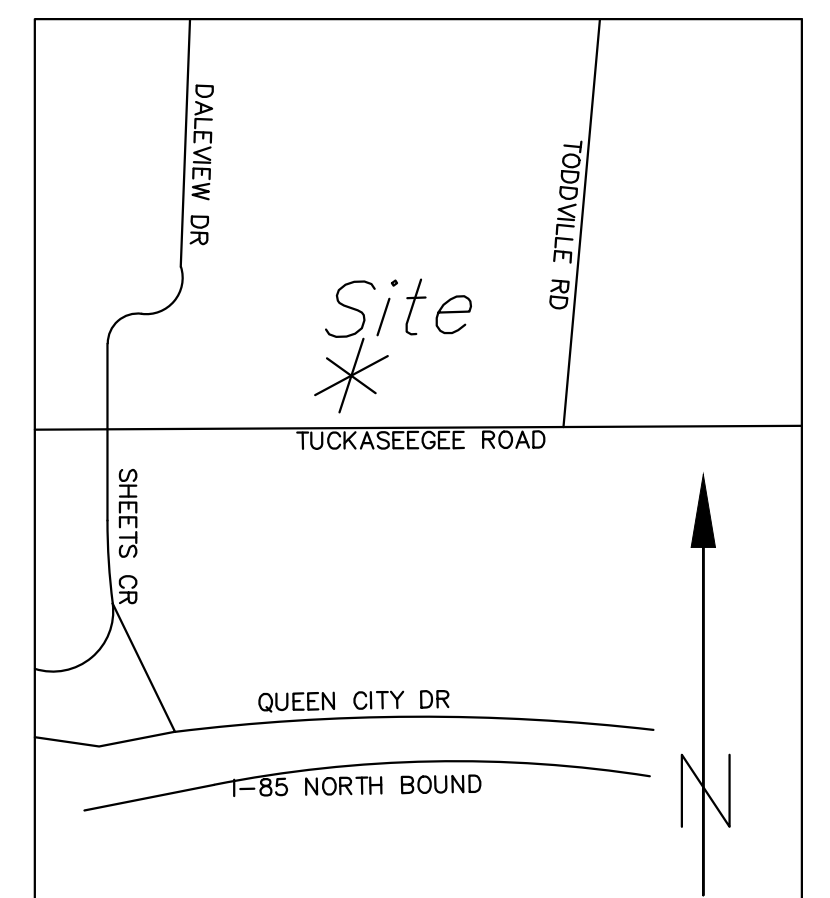
CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA - CITY LD PROJECT # SDRMF-2023-00027  
**SITE CONSTRUCTION DOCUMENTS**

APPROVED FOR CONSTRUCTION  
CHARLOTTE-MECKLENBURG COUNTY ENGINEERING DEPARTMENT  
John W. ...  
8/9/2023

**GATEWAY DESIGN GROUP, PLLC**  
8516 FOXBRIDGE DR WEDDINGTON, NC 28112  
910-840-2861  
NC FIRM # P-2147



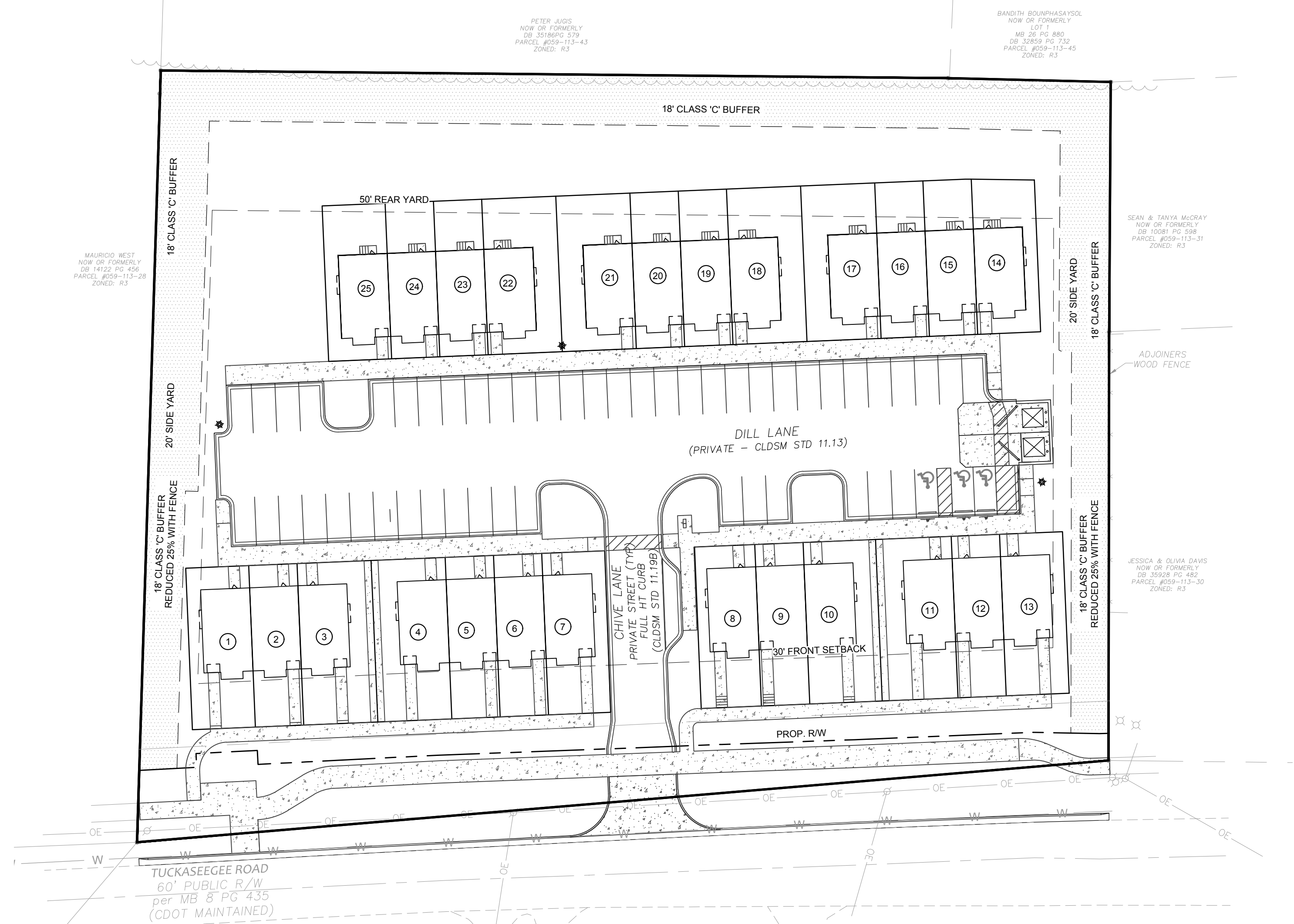
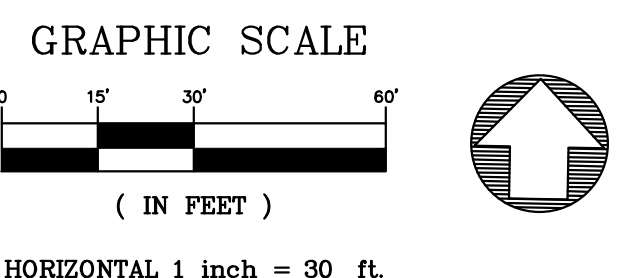
Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-1.0	SITE SURVEY
C-1.1	DEMOLITION PLAN
C-2.0	SITE PLAN
C-2.1	INTERSECTION SIGHT DISTANCE PLAN
C-2.2	SITE DETAILS
C-2.3	SITE DETAILS
C-3.0	EROSION CONTROL PLAN PHASE 1
C-3.1	EROSION CONTROL PLAN PHASE 2
C-3.2	EROSION CONTROL PLAN PHASE 3
C-3.3	EROSION CONTROL DETAILS
C-3.4	EROSION CONTROL DETAILS
C-4.0	GRADING PLAN
C-4.1	STORM SEWER PROFILES
C-4.2	STORM SEWER DETAILS
C-5.0	UTILITY PLAN
C-5.1	SANITARY SEWER PROFILES
C-5.2	UTILITY DETAILS
C-5.3	UTILITY DETAILS
C-6.0	LANDSCAPE PLAN
C-6.1	LANDSCAPE DETAILS
C-8.0	DRAINAGE MAP
C-8.1	UNDERGROUND DETENTION DETAILS
C-8.2	UNDERGROUND DETENTION DETAILS



**VICINITY MAP**  
N.T.S.

**AIRPORT NOISE DISCLOSURE OVERLAY DISTRICT NOTICE**  
NOISE WARNING - THIS PROPERTY, EITHER PARTIALLY OR WHOLLY, IS ZONED AIRPORT NOISE DISCLOSURE OVERLAY DISTRICT AND LIES WITHIN OR NEAR THE NOISE EXPOSURE MAP AREAS OF CHARLOTTE/DUGLAS INTERNATIONAL AIRPORT AND MAY BE SUBJECT TO NOISE THAT MAY BE OBJECTIONABLE.

- GENERAL NOTES:**
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IN THIS PLAN IS BASED UPON A COMBINATION OF A SURVEY PROVIDED BY CAROLINA GEOMATICS, PLLC ON FEBRUARY 21, 2022 AND GIS DATA GATEWAY DESIGN GROUP DOES NOT REPRESENT OR WARRANT THE WORK PREPARED BY THE SURVEYOR.
  - THE CIVIL ENGINEER AND THE OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENFORCE SAFETY MEASURES OR REGULATIONS, THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY STANDARDS, LAWS, AND REGULATIONS.
  - CONTRACTOR SHALL NOTIFY GATEWAY DESIGN GROUP 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
  - ALL LOCAL, MUNICIPAL, AND STATE LAWS, RULES, AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE PART OF THE PROJECT CONTRACT DOCUMENTS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
  - DO NOT SCALE DRAWINGS IN THIS SET. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER THE SCALE SHOWN ON THE PLANS, SECTIONS, PROFILES, AND DETAILS. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE CIVIL ENGINEER AND/OR OWNER'S REPRESENTATIVE.
  - IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED TO THE ENGINEER AND/OR OWNER'S REPRESENTATIVE. FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE CIVIL ENGINEER AND/OR OWNER'S REPRESENTATIVE.
  - THE SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE CIVIL ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO ANY ACTUAL CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND/OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
  - ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND/OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 15 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, LANDSCAPING, AND FEATURES TO REMAIN ON AND ADJACENT TO THE PROJECT SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT THEIR OWN EXPENSE, ALL DAMAGED ELEMENTS RESULTING FROM CONTRACTOR OPERATIONS OR NEGLIGENCE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY REPAIR ANY ACTIVE UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NC DOT, AND CITY OF CHARLOTTE.
  - THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANY TO RELOCATE/REPLACE ANY EXISTING UTILITY AND/OR LIGHT POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE MUST BE RELOCATED AT THE CONTRACTOR'S EXPENSE.
  - ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER. TESTING SHALL BE PERFORMED, AT A MINIMUM, IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE RESULTS OF THE TESTING DO NOT COMPLY WITH THE PLANS AND THE SPECIFICATIONS, SUBSEQUENT TEST NECESSARY TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE. ELEMENTS FOUND TO BE DEFICIENT IN STRENGTH OR THICKNESS SHALL BE REMOVED AND REPLACED SOLELY AT THE EXPENSE OF THE CONTRACTOR.
  - PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.
  - GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC ARE PROTECTED FROM INJURY.
  - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
  - ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
  - ALL DRAINAGE FACILITIES, CURB CUTS, AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE NC DOT AND CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH CITY ENGINEERING DEPARTMENT.
  - CONTRACTOR TO OBTAIN BUILDING DEMOLITION PERMIT AS REQUIRED PER ALL APPLICABLE REGULATIONS.
  - \*\*ALL STANDARD NUMBERS REFER TO THE LATEST EDITION OF THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND THE NC DOT STANDARD DETAILS AND SPECIFICATIONS.



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC., AS NECESSARY TO INSURE SAFETY.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

**LUCY HOMES**  
6112 TUCKASEEGEE ROAD TOWNHOMES  
PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT #: 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB  
TITLE  
**COVER SHEET**  
SHEET NO.  
**C-0.0**

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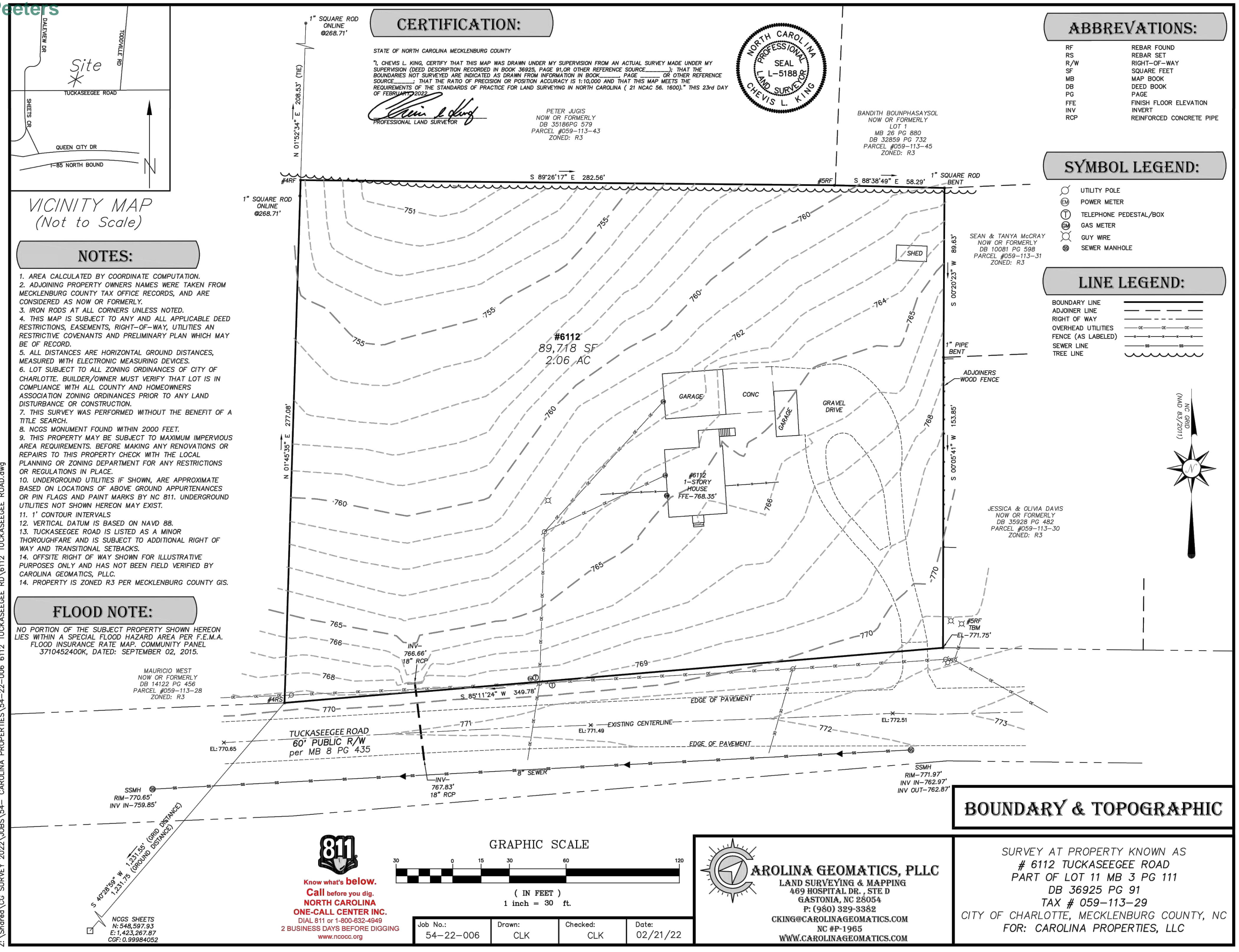
**Emily Chien**  
**Matthew Yankech**  
**Vincent Condon**  
**Jacobus Peeters**

**APPROVED FOR CONSTRUCTION**

CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
**John W. Warr**  
08/02/2023

**GATEWAY DESIGN GROUP, PLLC**

8516 FOXBRIDGE DR WEDDINGTON, NC 28134  
910-840-2861  
NC FIRM # P-2147



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REVISION

NO.	BY	DATE

PROJECT # 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB

TITLE  
**SITE SURVEY**

SHEET NO.  
**C-1.0**

**NOTE:**

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Emily Chien  
Matthew Yankech  
Vincent Condon  
Jacobus Peeters

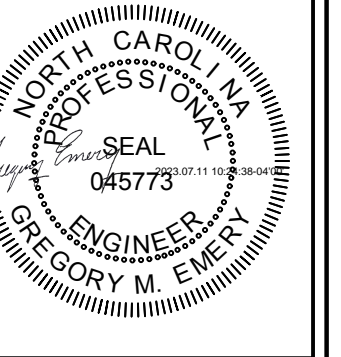
ENGINEERING  
PCSO / DETENTION / DRAINAGE PLAN  
EROSION CONTROL  
URBAN FORESTRY  
TREE ORDINANCE  
CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
John W. [unclear]  
08/02/2023

GATEWAY DESIGN GROUP, PLLC  
8516 FOXBRIDGE DR WEDDINGTON, NC 28154  
910-840-2661  
NC FIRM # P-2147



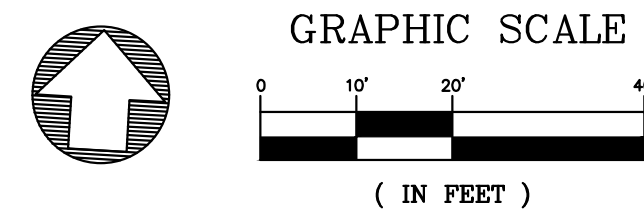
**LEGEND**

[Hatched Box] DEMOLITION AREA  
[Dashed Line] OVERHEAD ELECTRIC (TBR)

**ABBREVIATIONS**

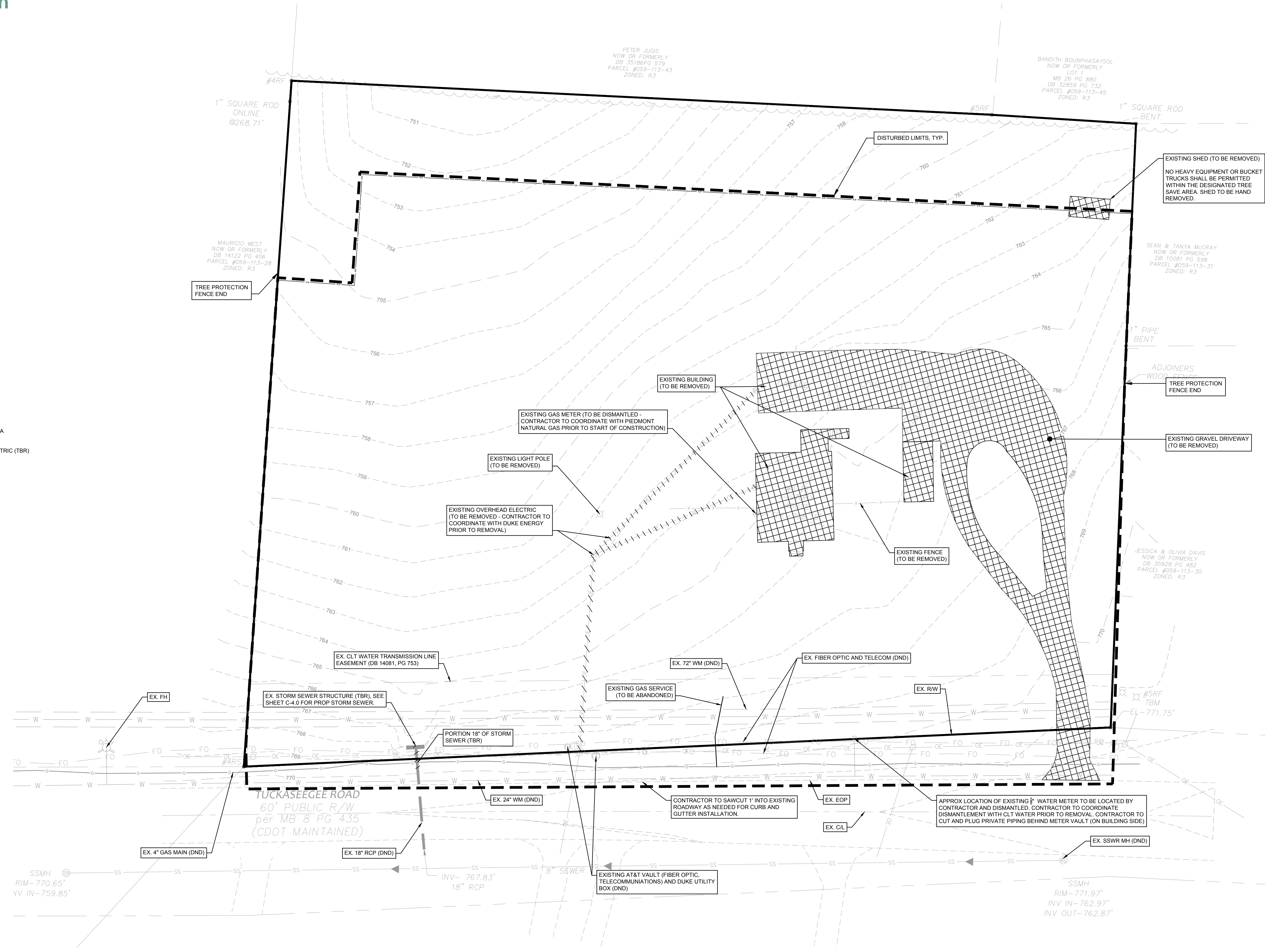
(TBR) - TO BE REMOVED  
(DND) - DO NOT DISTURB  
(TBR) - TO BE RELOCATED

DEMOLITION NOTE:  
INITIAL EROSION CONTROL MEASURES SHALL BE INSTALLED, INSPECTED AND GRADING APPROVAL OBTAINED FROM CITY OF CHARLOTTE PRIOR TO PROCEEDING WITH DEMOLITION. SEE SHEET C-3.0 FOR DETAILS.



**DEMOLITION NOTES**

- PRECONSTRUCTION MEETING W/ OWNER, ENGINEER, AND CITY IS REQUIRED, PRIOR TO DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ALL PERMITS.
- THE CONTRACTOR SHALL COORDINATE ACCESS PLAN FOR VEHICULAR AND PEDESTRIAN ACCESS DURING CONSTRUCTION W/ OWNER, PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL COORDINATE MATERIALS TO BE SALVAGED W/ OWNER PRIOR TO DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DEMOLITION OR RELOCATION WITH APPLICABLE UTILITY COMPANIES, IE, GAS, CABLE, POWER, TELEPHONE, WATER, SEWER, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY FIX ANY ACTIVE UTILITIES DAMAGED DURING CONSTRUCTION AT CONTRACTOR'S EXPENSE. THE OWNER WILL PAY TO MOVE OR REPAIR ANY UTILITIES ENCOUNTERED DURING CONSTRUCTION WHICH ARE NOT IDENTIFIED ON CONSTRUCTION DOCUMENTS OR SITE SURVEY.
- ALL MATERIALS GENERATED BY THE DEMOLITION WILL BE HAULED FROM SITE AND DISPOSED OF PER LOCAL AND STATE REGULATIONS.
- PRIOR TO EXCAVATION, SAW-CUT CONCRETE, ASPHALT PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO LIMITS INDICATED ON PLAN.
- PER SECTION 20-16.12 OF THE SUBDIVISION ORDINANCE, THE CONTRACTOR SHALL IDENTIFY THE LOCATION OF ANY EXISTING DEMOLITION LANDFILL ON THE SITE AND THE LOCATION OF ANY PROPOSED DEMOLITION LANDFILL SITES.



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LUCY HOMES  
6112 TUCKASEEGEE ROAD TOWNHOMES  
PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT # 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB

TITLE  
**DEMOLITION PLAN**

SHEET NO.  
**C-1.1**

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**FINAL APPROVAL** 8/9/2023  
PROJECT NUMBER: SDRMF-2023-0027

**ENGINEERING**  
PCSO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**

**URBAN FORESTRY**  
TREE ORDINANCE

**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT: <http://sha101enc.gov/ld>

Emily Chien  
Matthew Yankech  
Vincent Condon  
Jacobus Peeters

**LEGEND**

- PROPOSED SETBACK
- PROPOSED RIGHT OF WAY
- PROPOSED BUILDING
- PROP CURB AND GUTTER
- PROPOSED CENTERLINE
- PROPOSED UTILITY EASEMENT
- PRIVATE OPEN SPACE
- PROPOSED CONCRETE SIDEWALK (HEAVY DUTY AT TRASH PAD AND DRIVEWAY ENTRANCE)
- PROPOSED HEAVY DUTY ASPHALT (DRIVE AISLES)
- TREE SAVE AREA
- NATURAL AREA
- SUBLOT LINES

**Built-Up Area Summary**

Total Lot Area	30,643 SF
Total Lot BUA	15,960 SF
BUA % Per Lot	<b>52.1%</b>
Parking Lot Asphalt	17,428 SF
Conc Sidewalk (outside of lots)	9,217 SF
<hr/>	
Bypass BUA	4,909 SF
SCM BUA	37,696 SF
Total Site BUA	42,605 SF
Total Site BUA %	47.5% SF

**VICINITY MAP**  
N.T.S.

NOTE: ALL ROADS SHALL BE CAPABLE OF SUPPORTING 85,000 POUNDS. HEAVY DUTY ASPHALT SHALL BE UTILIZED AT ALL DRIVE AISLE LOCATIONS.  
ESTIMATED COMPLETION DATE: MARCH, 2024

**SITE PLAN GENERAL NOTES:**

- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY AND STATE STANDARDS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING ANY DEMOLITION, GRADING OR CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES. GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PER SECTION 18-175(e) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

**AIRPORT NOISE DISCLOSURE OVERLAY DISTRICT NOTICE**  
NOISE WARNING - THIS PROPERTY, EITHER PARTIALLY OR WHOLLY, IS ZONED AIRPORT NOISE DISCLOSURE OVERLAY DISTRICT AND LIES WITHIN OR NEAR THE EXPOSURE MAP AREAS OF CHARLOTTE/DOUGLAS INTERNATIONAL AIRPORT AND MAY BE SUBJECT TO NOISE THAT MAY BE OBJECTIONABLE.

**ZONING NOTES:**  
1. ALL UTILITIES ON SITE WILL BE INSTALLED UNDERGROUND.  
2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PER CDOT REQUIREMENTS.  
3. THERE SHALL BE NO ENCROACHMENTS WITHIN THE REQUIRED FRONT SETBACK.  
4. ALL RW DEDICATION MUST BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY ISSUANCE.  
5. ALL TRANSPORTATION IMPROVEMENTS MUST BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY ISSUANCE.

NOTE: THERE SHALL BE NO ENCROACHMENTS WITHIN THE REQUIRED FRONT SETBACK.

ALL NATURAL AREA DISTURBED DURING CONSTRUCTION SHALL BE REPLANTED AT 30 TREES/ACRE. BERRY PLANTINGS SHALL COUNT TOWARDS THIS REQUIREMENT. TREE SAVE AREA MUST REMAIN UNDISTURBED DURING ALL STAGES OF CONSTRUCTION.  
2.616 SF NATURAL AREA WITHIN BUFFER - MIN. 3 TREES REQUIRED.

LOT#	POS AREA (SF)	LOT AREA (SF)	MAX BUA ALLOWED (SF)
1	765	1311	918
2	467	1005	704
3	998	1543	1080
4	998	1543	1080
5	468	1005	704
6	468	1005	704
7	757	1311	918
8	708	1253	877
9	468	1005	704
10	963	1508	1056
11	1026	1577	1104
12	468	1005	704
13	765	1311	918
14	700	1246	872
15	430	968	678
16	430	968	678
17	940	1485	1040
18	940	1485	1040
19	430	968	678
20	430	968	678
21	940	1485	1040
22	940	1485	1040
23	430	968	678
24	430	968	678
25	716	1262	883

**CDOT NOTES:**  
NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT ENCROACHMENTAGREEMENT@CHARLOTTENC.GOV.

DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF TEMPORARY TRAFFIC CONTROL DEVICES DURING ALL PHASES OF CONSTRUCTION IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CDOT WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH), THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTC), AND THE NCDOT ROADWAY STANDARD DRAWINGS.

ANY WORK WITHIN THE CITY'S ROW OR CITY MAINTAINED INFRASTRUCTURE MUST BE APPROVED BY CDOT AND WILL REQUIRE A ROW USE PERMIT OR ROW LEASE DEPENDING UPON THE PROPOSED SCOPE AND DURATION OF WORK. THESE APPROVALS ARE IN ADDITION TO SITE PLAN APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT ROWUSEPERMIT@CHARLOTTENC.GOV AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT LEASINGAGREEMENT@CHARLOTTENC.GOV AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO ALL USERS OF THE PUBLIC ROW.

THE DEVELOPER SHALL CONTACT THE IMPLEMENTATION SECTION MANAGER, TONY TAGLIAFERRI, OF THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT) OR THEIR DESIGNEE AT 704-336-4119 TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALS PRIOR TO CONSTRUCTION. UP TO 60 DAYS WILL BE REQUIRED TO RELOCATE AND RELOCATE. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

PEDESTRIAN-SCALE LIGHTING AND/OR STREET LIGHTING SHALL NOT BE INSTALLED WITHIN THE RIGHT-OF-WAY WITHOUT REVIEW AND APPROVAL OF CDOT. DEVELOPER TO CONTACT CANDACE INGE (704-336-3932 OR CANDACE.INGE@CHARLOTTENC.GOV) FOR LOCAL STREET LIGHTING CRITERIA WITH RESIDENTIAL SUBDIVISION PROJECTS AND TO CONTACT BRUCE HORTDT (704-589-9536 OR BRUCE.HORTDT@CHARLOTTENC.GOV) FOR ALL OTHER PROJECTS. LIGHTING REQUIREMENTS, COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

PRIVATE DEVELOPMENT UTILITY RELOCATION COORDINATION - FOR UTILITY COORDINATION RELATED TO BOTH EXISTING UTILITY RELOCATION NEEDS AND PROPOSED NEW UTILITY INSTALLATIONS, PLEASE CONTACT UTILITYWORKPERMIT@CHARLOTTENC.GOV.

A JOINT USE MANHOLE (MEET-ME MANHOLE) IS TO BE PROVIDED BY THE DEVELOPER TO ACCOMMODATE ALL UTILITY TELECOM SERVICE PROVIDERS. THE JOINT USE MANHOLE SHALL BE LOCATED ON PRIVATE PROPERTY OUTSIDE OF THE CITY RIGHT-OF-WAY.

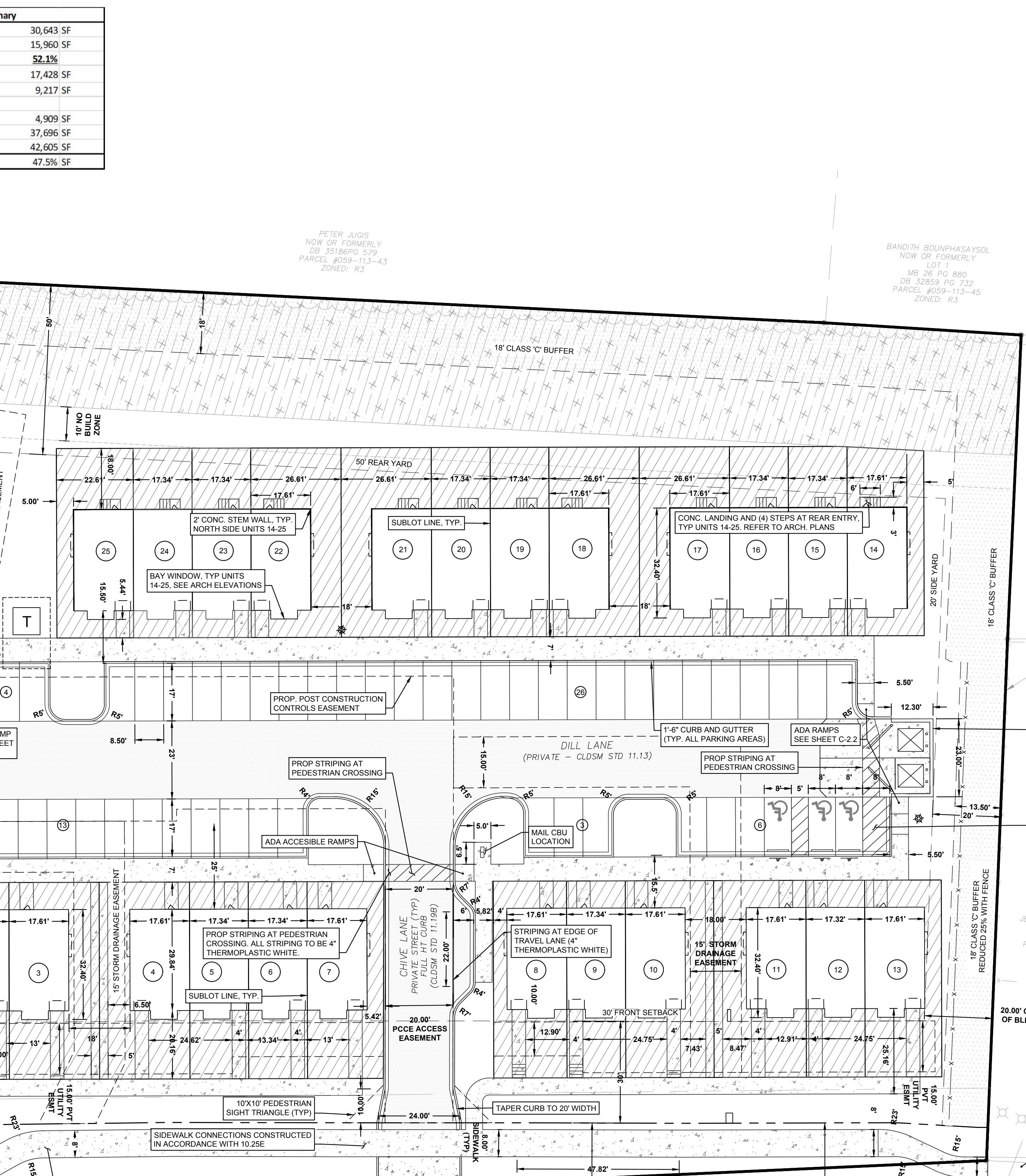
**SITE DEVELOPMENT TABLE:**

TAX MAP NUMBER	REQUIRED PARKING	1.5 SPACES PER UNIT + 0.5 VISITOR SPACES PER UNIT = 50 REQ
05911329	PROVIDED PARKING	40 RESIDENT SPACES, 14 VISITOR SPACES = 52 PROVIDED
ZONING: R-37M(CD)	SETBACKS AND YARDS:	3 ADA SPACES PROVIDED
REF REZONING PETITION: 2022-052	FRONT:	30 FT FROM R/W
SITE AREA: 2.06 AC	SIDE:	10 FT OR 20 FT ADJOINING SFR
DEED INFORMATION: DB 36925 PG 91	REAR:	40 FT OR 50 FT ADJOINING SFR
PROPOSED USE: SINGLE FAMILY ATTACHED RESIDENTIAL UNITS	MAX HEIGHT OF BUILDING:	40 FT.
PROPOSED UNITS: 25 WITH LAND FOR SALE		
PROPOSED DENSITY: 12.13 UNITS/ACRE	BUILDING HT PROPOSED:	40 FT.
TOTAL UNITS ALLOWED: 29		
SOLID WASTE REQUIRED: 0.18 CY CONTAINER/30 UNITS		
0.144 SF RECYCLING AREA/30 UNITS	WATER:	CHARLOTTE WATER (PUBLIC)
0.18 CY CONTAINERS	SEWER:	CHARLOTTE WATER (PUBLIC)
0.144 SF RECYCLING AREAS		
MIN. PRIVATE OPEN SPACE REQUIRED: 400 SF PER UNIT	POST CONSTRUCTION DISTRICT:	WESTERN CATAWBA
MIN. PRIVATE OPEN SPACE PROVIDED: 400 SF PER UNIT - SEE TABLE THIS SHEET	WATERSHED:	PAW
	WATERSHED OVERLAP:	LOWER LAKE Wylie PROTECTED AREA (MAX BUA 70%)
TREE SAVE REQUIRED: 15% (0.309 AC, 13,457 SF)	FLOOD DATA:	ZONE 'X' PER COMMUNITY PANEL
TREE SAVE PROVIDED: 15% (0.309 AC, 13,461 SF)		371045-2400K; EFF: 9/22/2015
OPEN SPACE REQUIRED: 45% (40,373 SF)	SITE IMPERVIOUS:	0.978 AC
OPEN SPACE PROVIDED: 45% (40,468 SF)	SITE IMPERVIOUS %:	47.5%

TUCKASEEGEE ROAD  
60' PUBLIC R/W  
per MB 8 PG 435  
(CDOT MAINTAINED)



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC., AS NECESSARY TO INSURE SAFETY.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1905-SUBPART F, OR AS AMENDED.



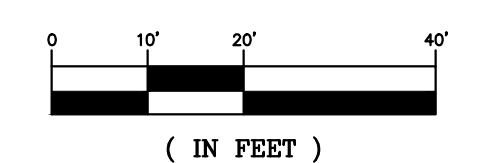
TRASH & RECYCLE ENCLOSURE (1) 8 CY TRASH AND 144 SF RECYCLING AREA. ENCLOSURE SHALL BE MINIMUM 6' HT AND 75% OPAQUE. SEE DETAIL SHEET C-2.3

ADA PARKING (3 SPACES) WITH CONC WHEELSTOPS AND ADA SIGNAGE

ADA NOTE: ALL RAMP AND SIDEWALKS SHALL BE CONSTRUCTED TO BE ADA COMPLIANT (2% CROSS SLOPE, 4% LONGITUDINAL SLOPE). SEE GRADING PLAN SHEET C-4.0 FOR SIDEWALK ELEVATIONS.

2'-6" CURB AND GUTTER ALONG PROPERTY FRONTAGE. CONTRACTOR TO SAWCUT INTO EXISTING ASPHALT 1" TO INSTALL CURB AND GUTTER. ANY ASPHALT REMOVED SHALL BE REPLACED WITH FULL DEPTH PAVEMENT.

**GRAPHIC SCALE**



**DEVELOPER:**  
CAROLINAS PROPERTIES LLC  
1401 FUNNY CIDE DR  
WAXHAW, NC 28173  
(718) 607-4585  
mukesh@carolinasproperties.com

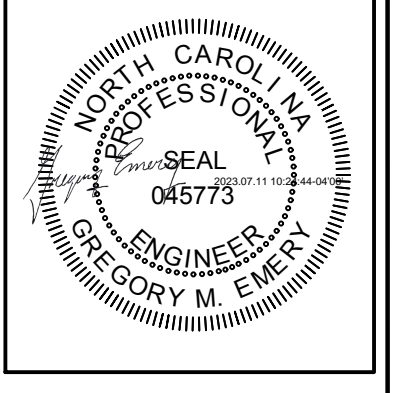
**DESIGNER:**  
GATEWAY DESIGN GROUP, PLLC  
8516 FOXBRIDGE DR  
WEDDINGTON, NC 28104  
GREG EMERY, P.E.  
(828) 989-9207  
greg@gatewaydesigngroup.com

**SURVEYOR:**  
CHEVIS HICKS  
CAROLINA GEOMATICS, PLLC  
469 HOSPITAL DR  
SUITE D  
GASTONIA, NC 28054  
(803) 329-3382

SITE PLAN  
SHEET NO.  
**C-2.0**

**APPROVED FOR CONSTRUCTION**  
CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
JOHN WELLS  
8/9/2023

**GATEWAY DESIGN GROUP, PLLC**  
8516 FOXBRIDGE DR WEDDINGTON, NC 28104  
910-840-2661  
NC FIRM # P-2147



**LUCY HOMES**  
6112 TUCKASEEGEE ROAD TOWNHOMES  
PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO. BY DATE

REVISION

PROJECT #: 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB  
TITLE



**ENGINEERING**  
PCSO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**

**URBAN FORESTRY**  
TREE ORDINANCE

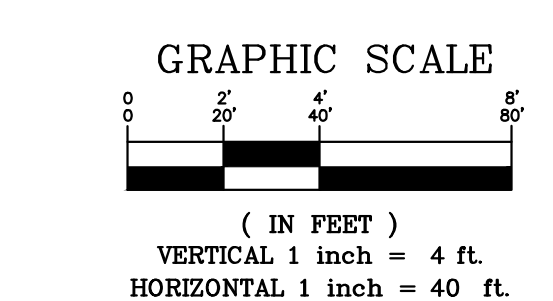
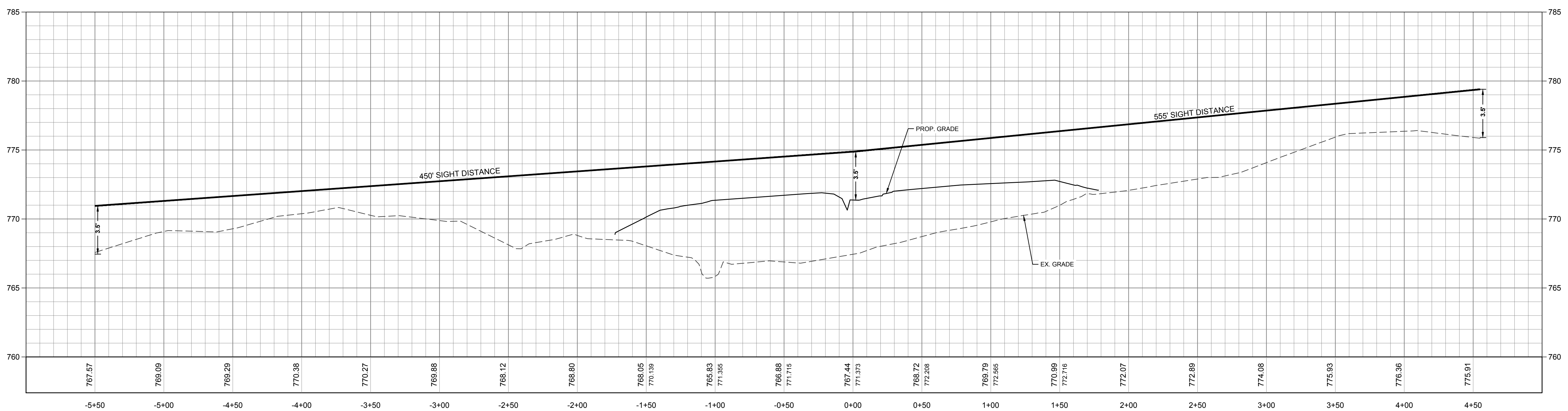
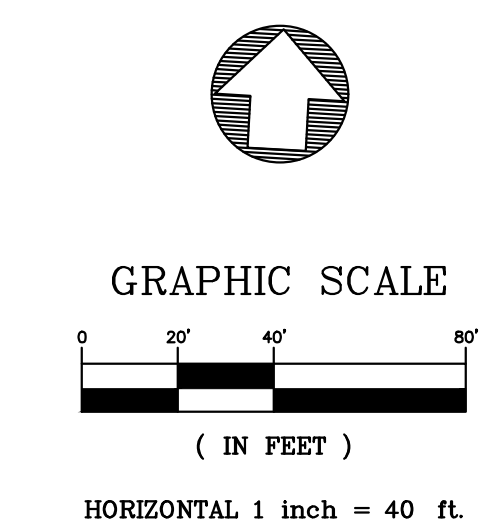
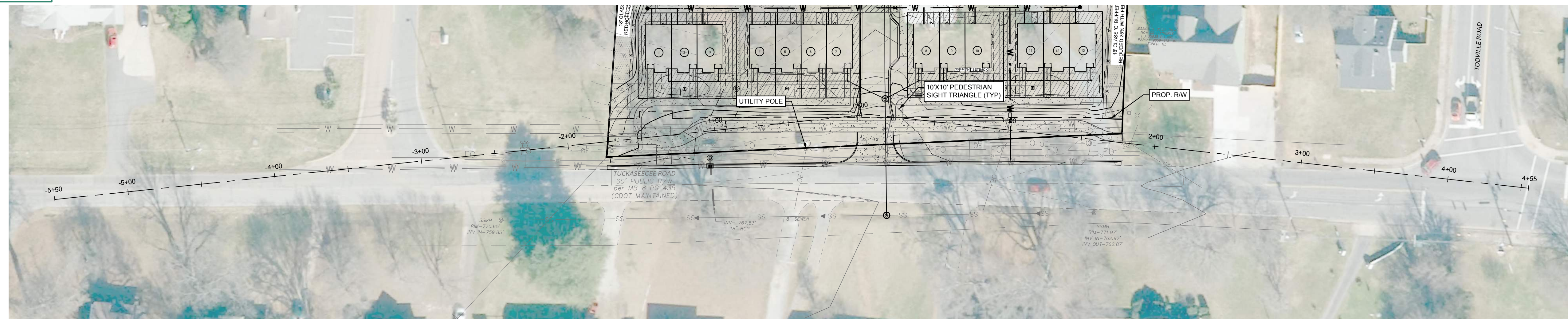
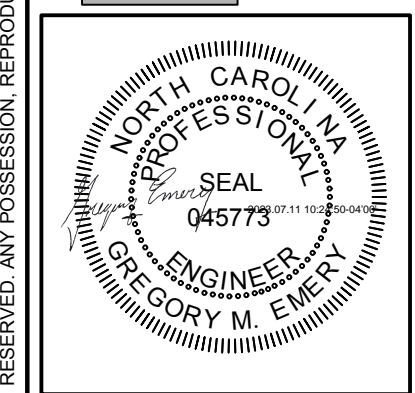
**CDOT**

Emily Chien  
Matthew Yankech  
Vincent Condon  
Jacobus Peeters

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

APPROVED FOR CONSTRUCTION  
CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
John W. [Name]  
8/9/2023

GATEWAY DESIGN GROUP, PLLC  
8516 FOXBRIDGE DR WEDDINGTON, NC 28134  
910-840-2861  
NC FIRM # P-2147



**TUCKASEEGEE ROAD DESIGN SPEED NOTE:**  
DESIGN SPEED IS THE MAXIMUM SAFE SPEED THAT CAN BE MAINTAINED OVER A SPECIFIED SECTION OF ROADWAY WHEN CONDITIONS ARE SO FAVORABLE THAT THE DESIGN FEATURES OF THE ROADWAY GOVERN. FOR POSTED SPEEDS OF 30 MPH OR LESS, THE DESIGN SPEED SHALL BE NO LESS THAN THE POSTED SPEED PLUS 10%; FOR POSTED SPEEDS OF 35 MPH OR MORE, THE DESIGN SPEED SHALL BE NO LESS THAN THE POSTED SPEED PLUS 5 MPH.  
**POSTED SPEED: 45 MPH**  
**DESIGN SPEED USED: 50 MPH**



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
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- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

C:\Users\Greg\OneDrive\Desktop\Projects\2023\2023-020 - 6112 Tuckasegee Rd\CADD\PlanSheets\C-2.1 - Intersection Sight Distance Plan.dwg GREG

NO.	BY	DATE	REVISION

PROJECT # 2023-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB  
TITLE  
INTERSECTION SIGHT DISTANCE PLAN  
SHEET NO.  
**C-2.1**

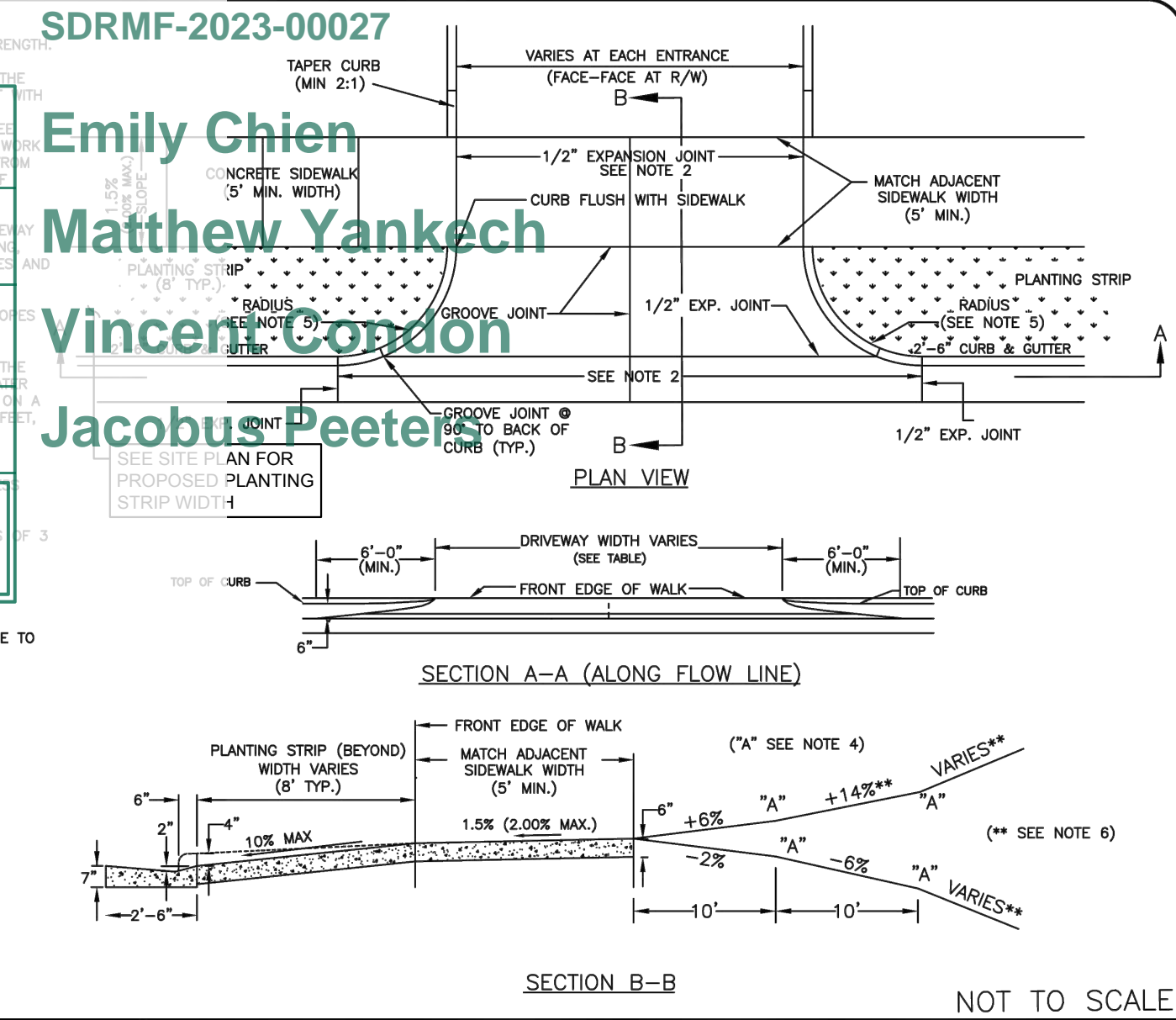
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**ENGINEERING**  
PCSO / DETENTION / DRAINAGE PLAN  
**EROSION CONTROL**  
**URBAN FORESTRY**  
**CDOT**

PROJECT NUMBER: SDRMF-2023-00027

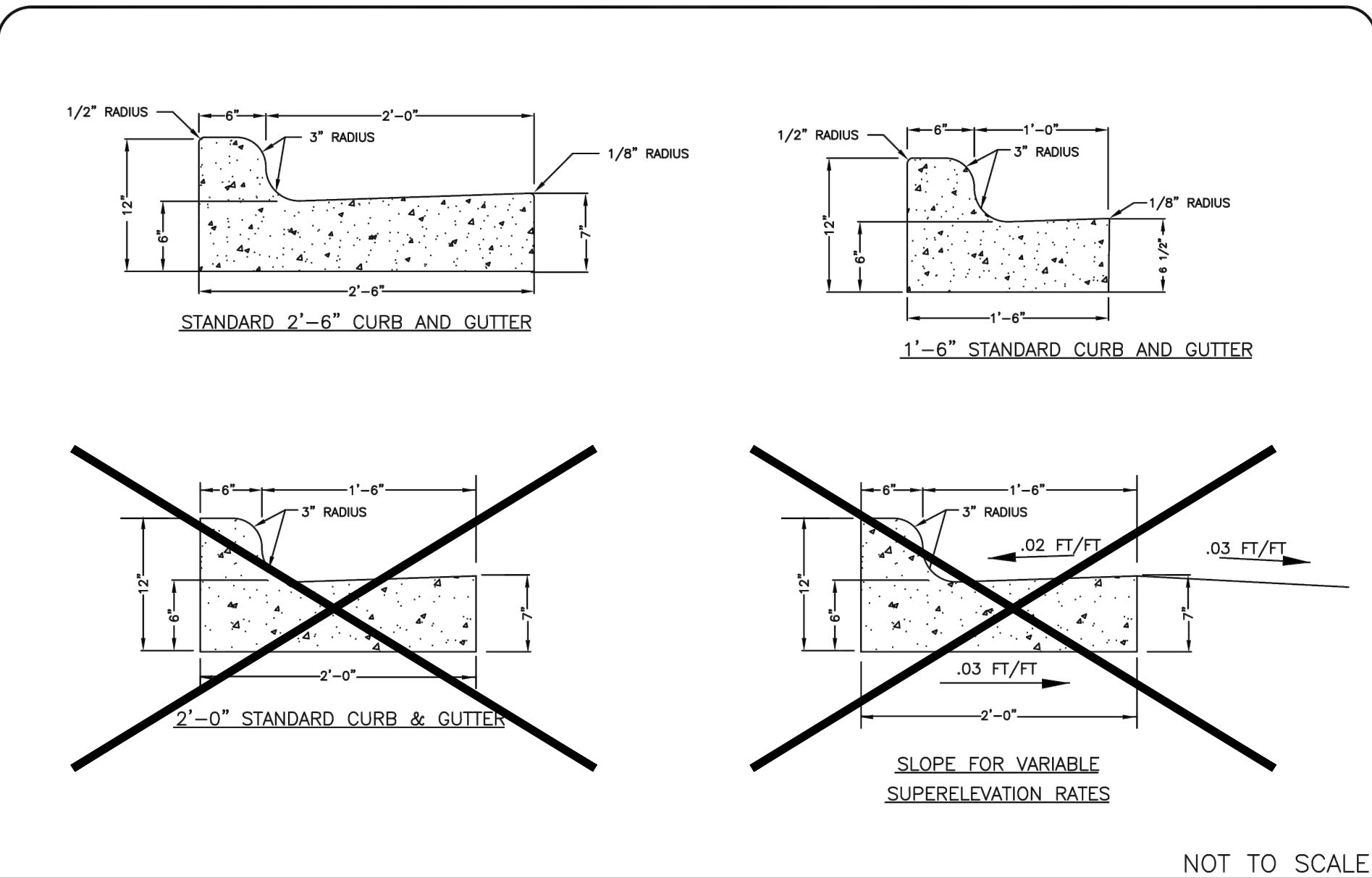
EMILY CHIEN  
MATTHEW YANKOCH  
VINCENT CONDON  
JACOBUS PEETER

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlotrenc.gov/ld>



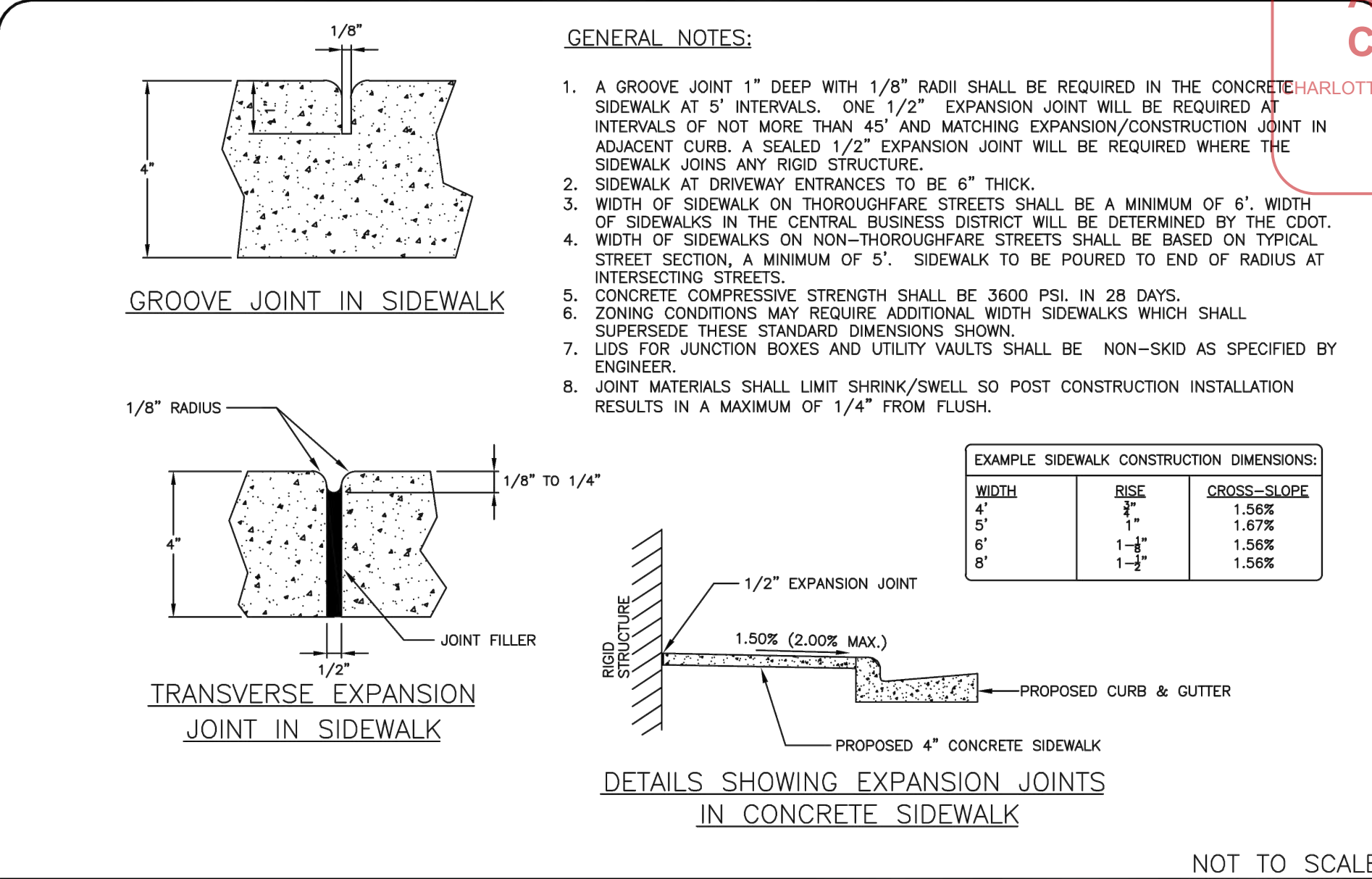
**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

TYPE II-MODIFIED DRIVEWAY DETAIL WITH WIDE PLANTING STRIP AND STANDARD CURB  
STD. NO. REV. 10.25E 18



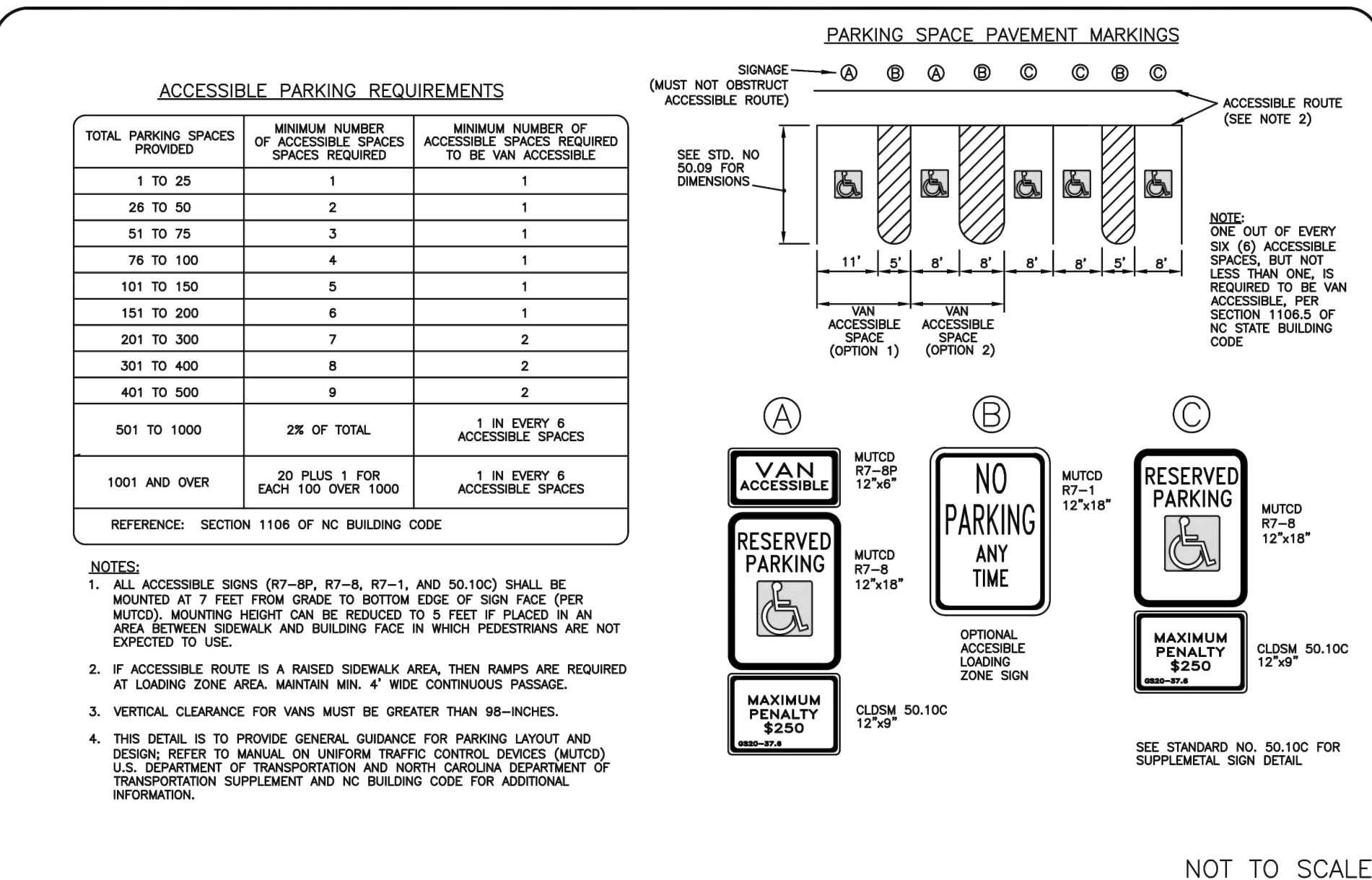
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LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

STANDARD CURB AND GUTTER  
STD. NO. REV. 10.17A



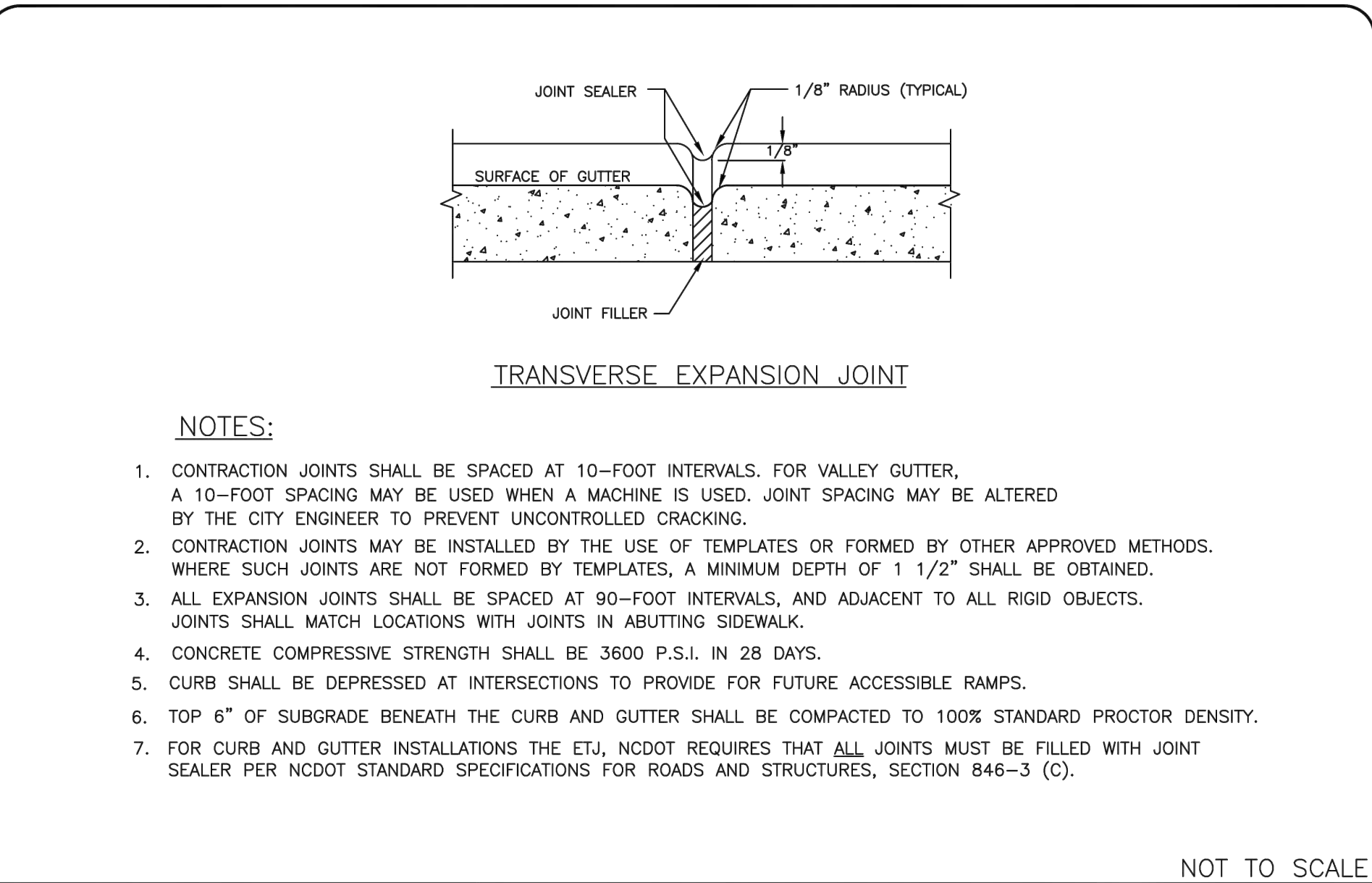
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LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

CONCRETE SIDEWALKS  
STD. NO. REV. 10.22 15



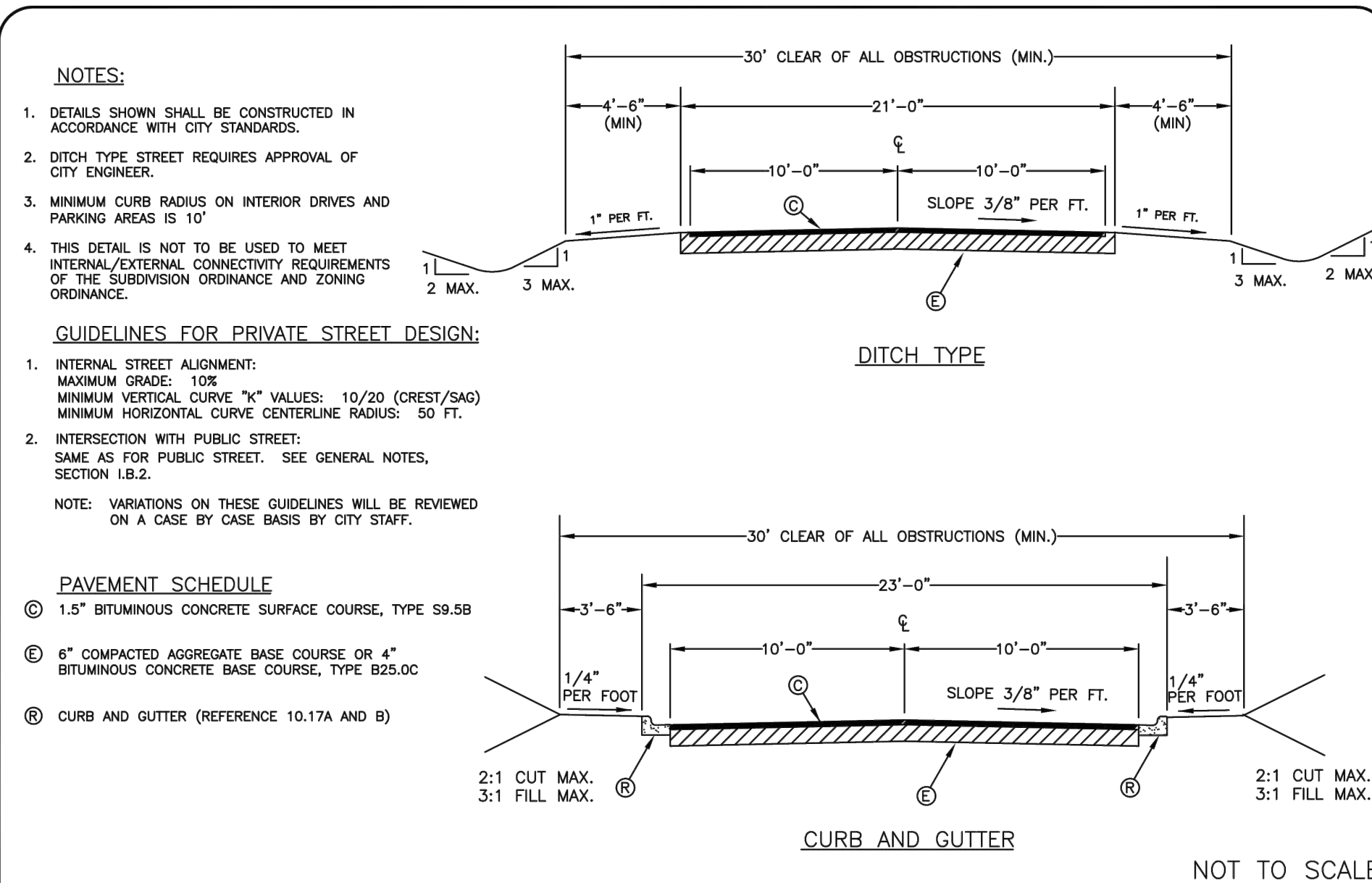
**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

ACCESSIBLE PARKING AND SIGNAGE STANDARDS  
STD. NO. REV. 50.10A 18



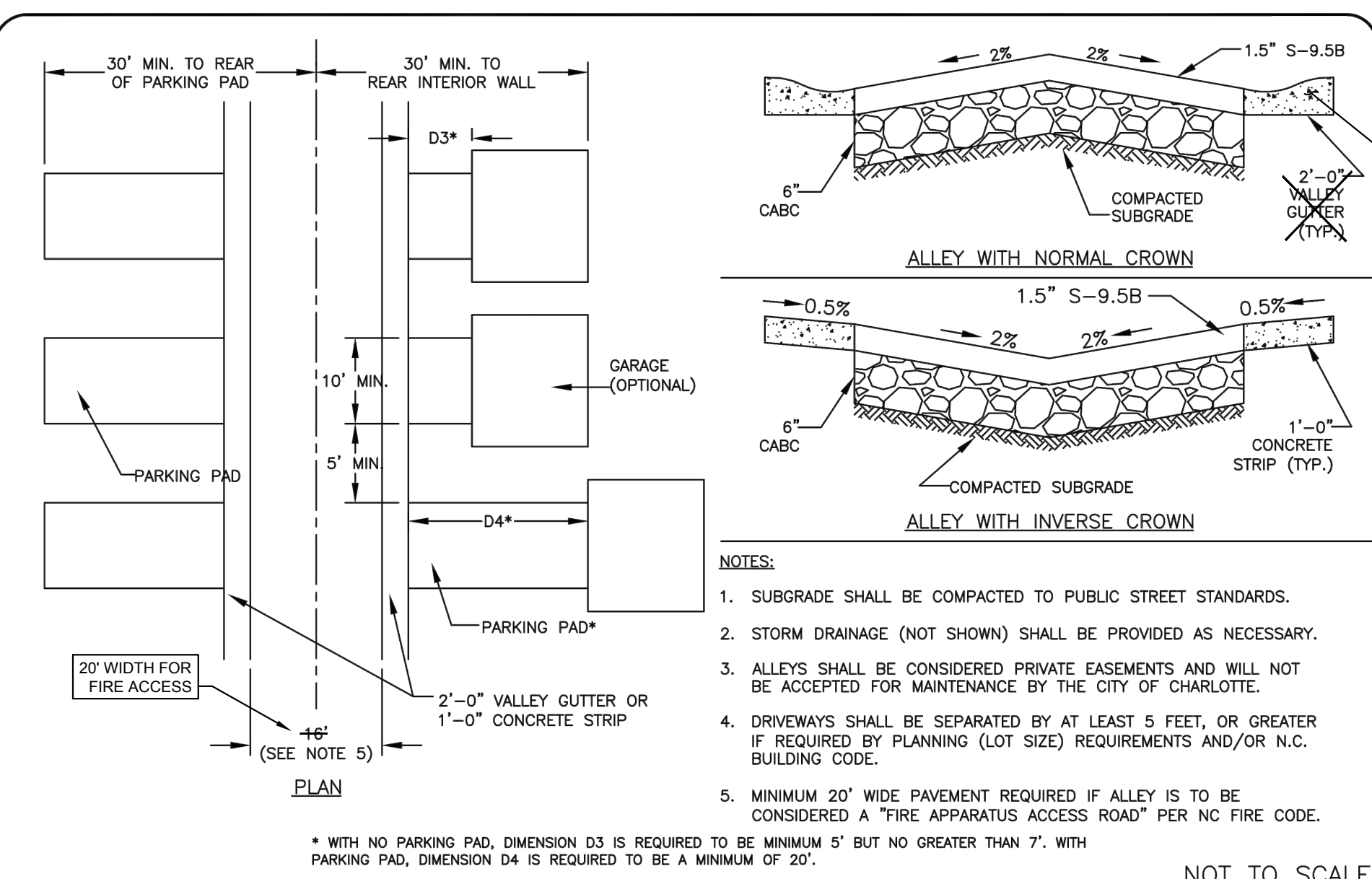
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LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

CURB AND GUTTER  
STD. NO. REV. 10.17C 21



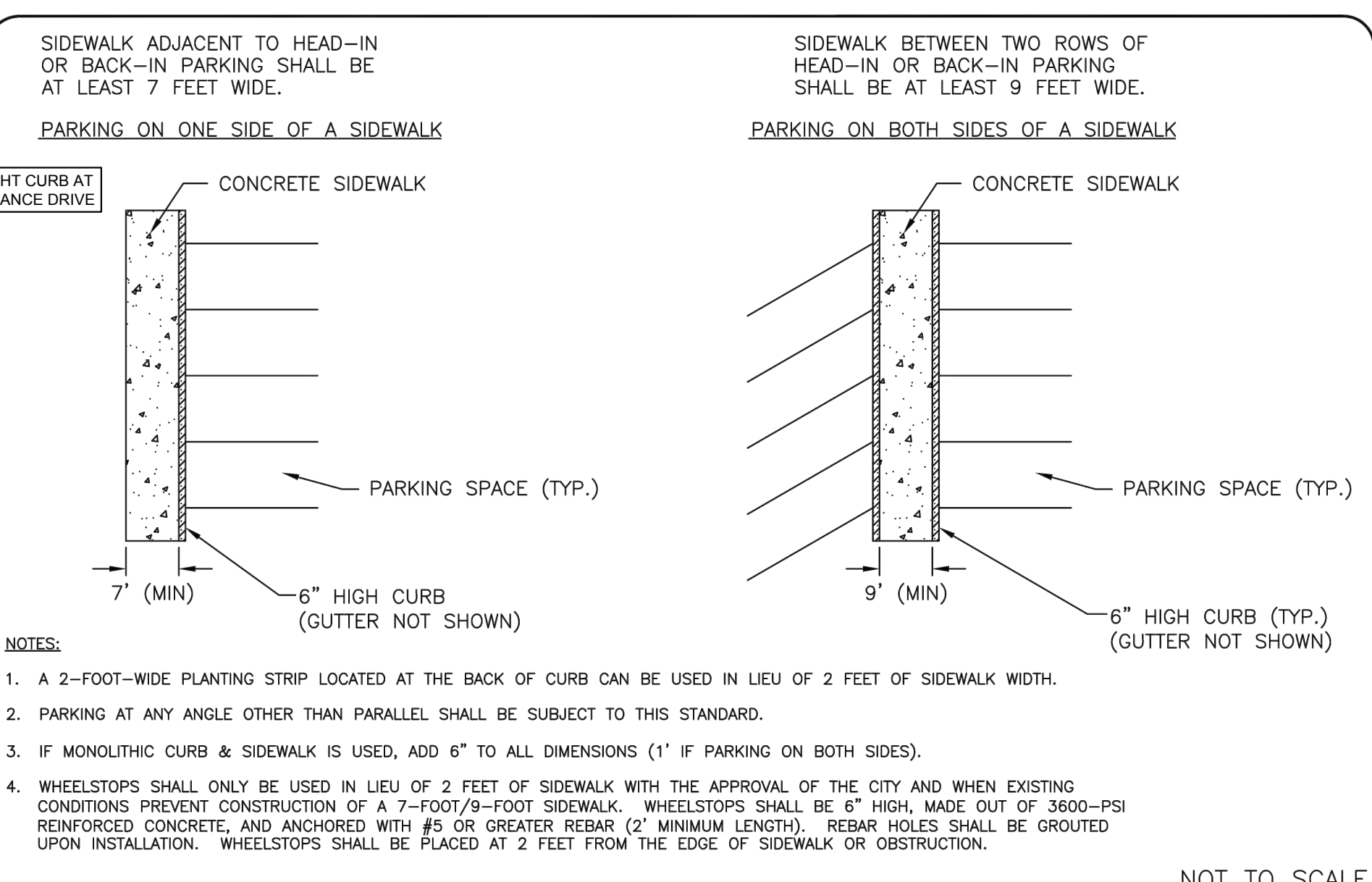
**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

PRIVATE STREET TYPICAL SECTIONS  
STD. NO. REV. 11.13 17



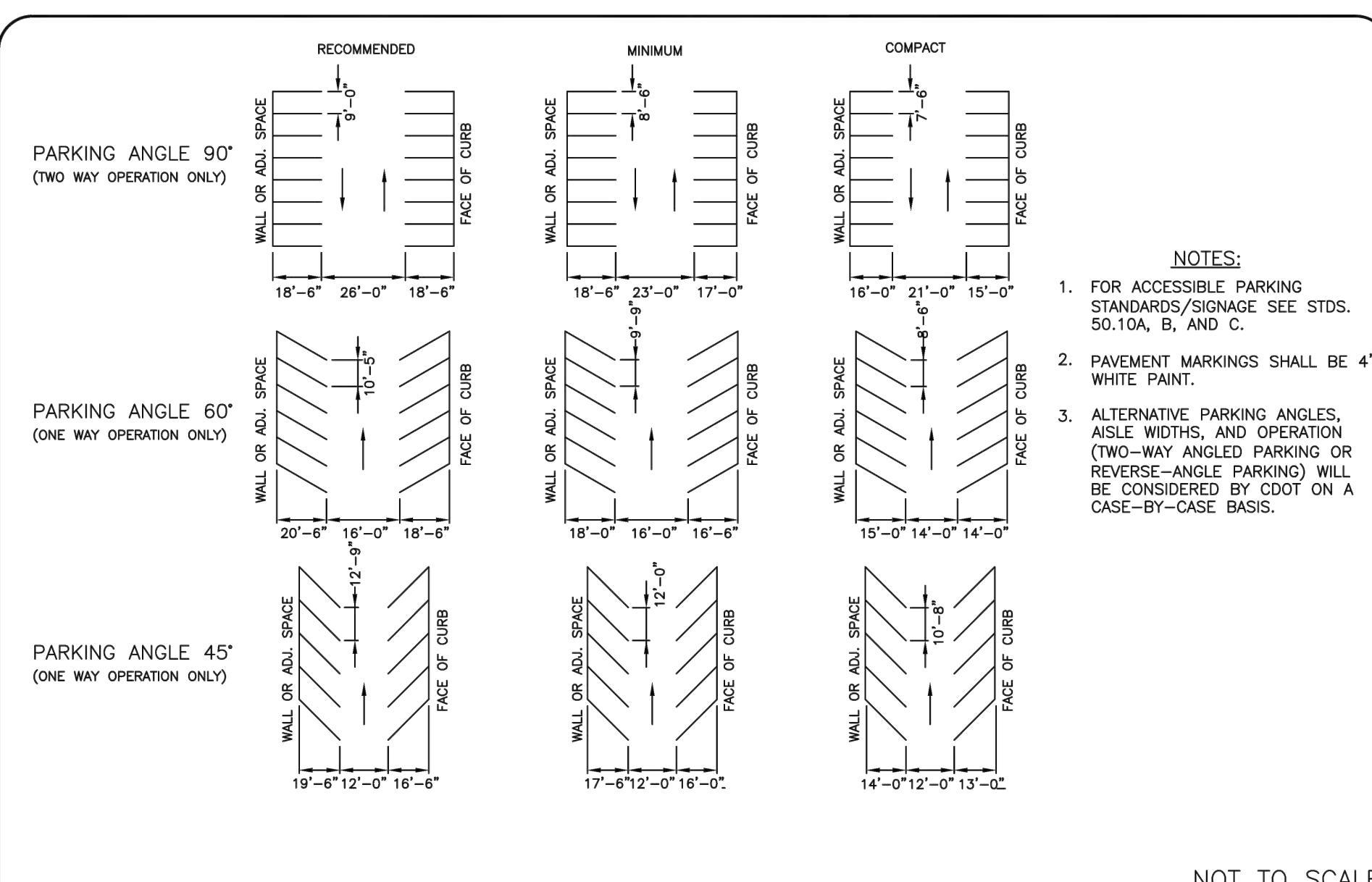
**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

RESIDENTIAL ALLEY DETAIL  
DOUBLE LOADED W/ TWO-WAY OPERATION  
STD. NO. REV. 11.19B 17



**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

PARKING STANDARDS (CONTINUED)  
STD. NO. REV. 50.09B 1



**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

PARKING STANDARDS  
STD. NO. REV. 50.09A

**FINAL APPROVAL** 8/9/2023

PROJECT NUMBER: **SDRMF-2023-00027**

**ENGINEERING**  
SURFACE ASPHALT COURSE

**EROSION CONTROL**  
PCSQ / DETENTION / DRAINAGE PLAN

**URBAN FORESTRY**  
TREE ORDINANCE

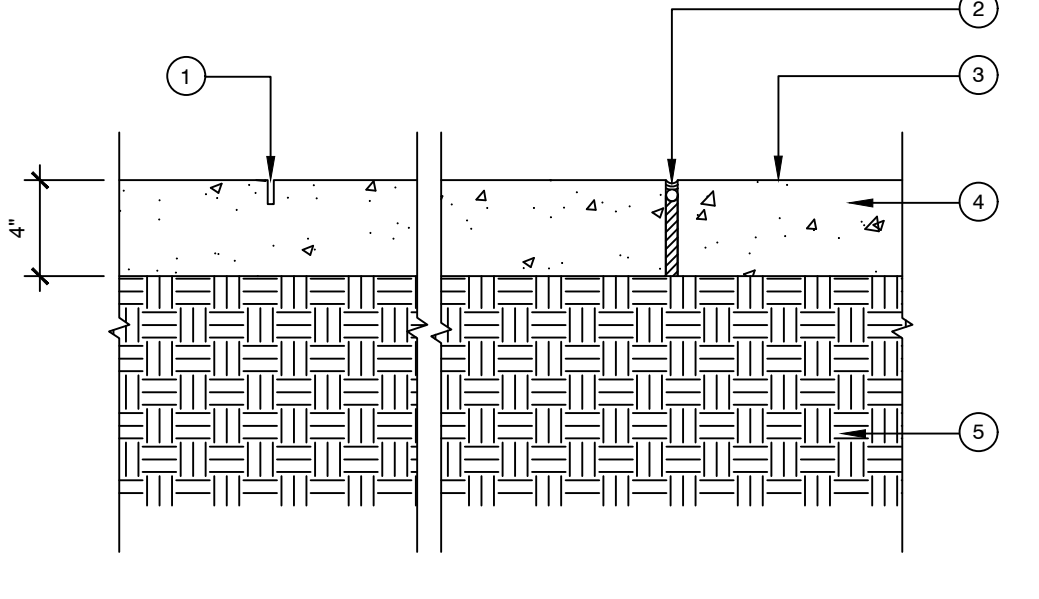
**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

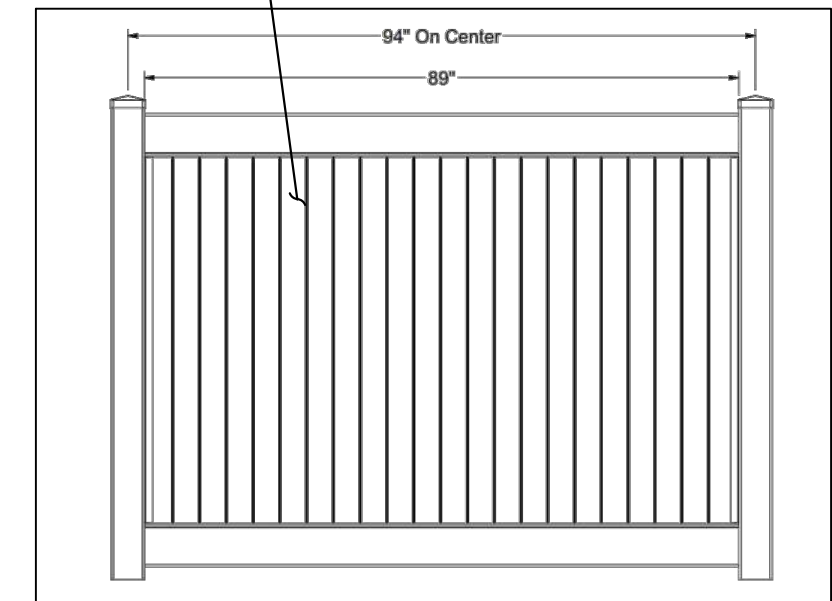
Emily Crumpton  
Matthew Yankech  
Vincent Condon  
Jacobus Peeters



- KEY:**
- 1 1/4" HAND TOOLED CONTROL JOINT, MIN. 1/4" DEPTH OF SLAB
  - 2 1/2" EXP. JT
  - 3 BROOM FINISH SURFACE
  - 4 CONCRETE PAVING, 3,600 PSI @ 28 DAYS
  - 5 98% COMPACTED SUBGRADE
- KEY:**
- 1 1/2" TYPE SF-9.5A SURFACE ASPHALT COURSE
  - 2 1.175" TYPE SF-9.5A INTERMEDIATE ASPHALT COURSE
  - 3 6" COMPACTED AGGREGATE BASE
  - 4 COMPACTED SUBGRADE, SEE NOTE # 2



NOTE: THE PAVEMENT SECTIONS CONTAINED IN THIS PLAN SHALL BE REVIEWED AND/OR MODIFIED BY A LICENSED GEOTECHNICAL ENGINEER RETAINED BY THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER PRIOR TO THE BEGINNING OF CONSTRUCTION.

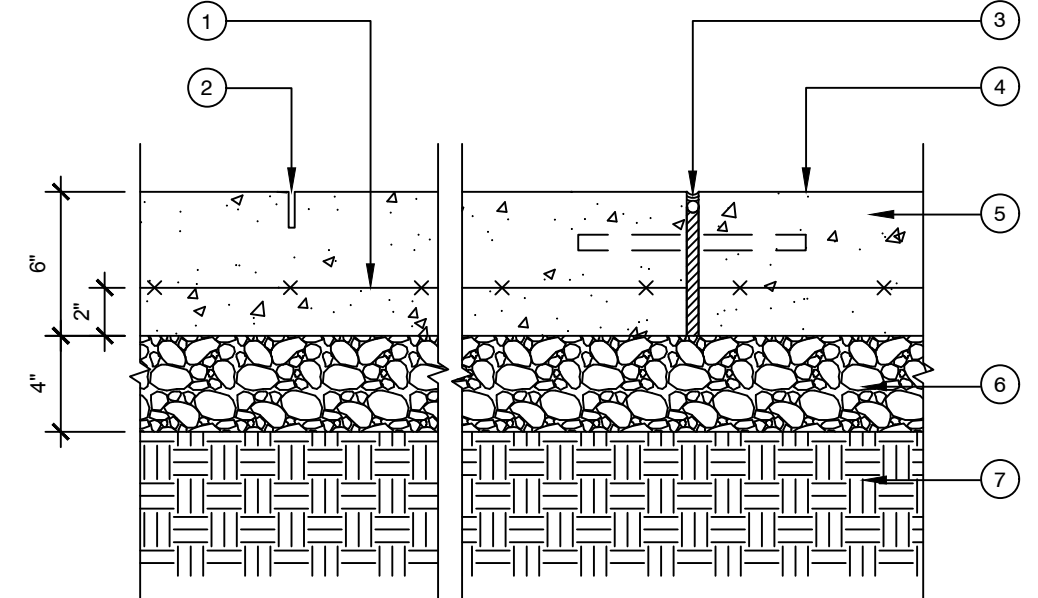


**BUFFER FENCE DETAIL**  
N.T.S.

DIG OR AUGER THE POST HOLES TO THE PROPER DEPTH AND WIDTH  
ASTM F1999 specifications. Minimum hole depth is 30" for a 6' tall fence. Minimum hole diameter is 10 3/4" for a 5 x 5 post. Local building codes may vary from the specifications above on depth and diameter based on soil/wind conditions. In areas of frost, hole depth shall extend 6" below frost depth. Contact your local building inspector for local requirements when frost depths exceed 30". Example, in an area with 30" or less frost depth, the hole depth for a 6' post should be 37". That depth will place the bottom rail 2 inches off the ground.

**1 ASPHALT PAVEMENT - HEAVY DUTY**  
DRIVE AISLES

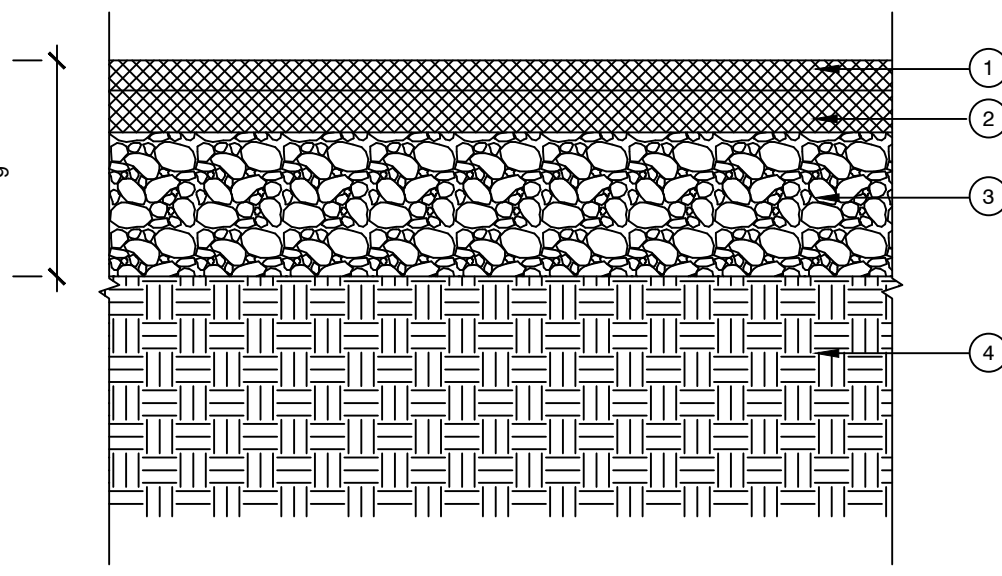
- KEY:**
- 1 6 X 6" - 10 / 10 W.W.M, LOCATED 2" FROM BOTTOM OF SLAB
  - 2 1/4" HAND TOOLED CONTROL JOINT, MIN. 1/4" DEPTH OF SLAB
  - 3 1/2" DOWELED EXP. JT
  - 4 BROOM FINISH SURFACE
  - 5 CIP CONCRETE PAVING, 3,600 PSI @ 28 DAYS
  - 6 95% COMPACTED AGGREGATE BASE
  - 7 98% COMPACTED SUBGRADE



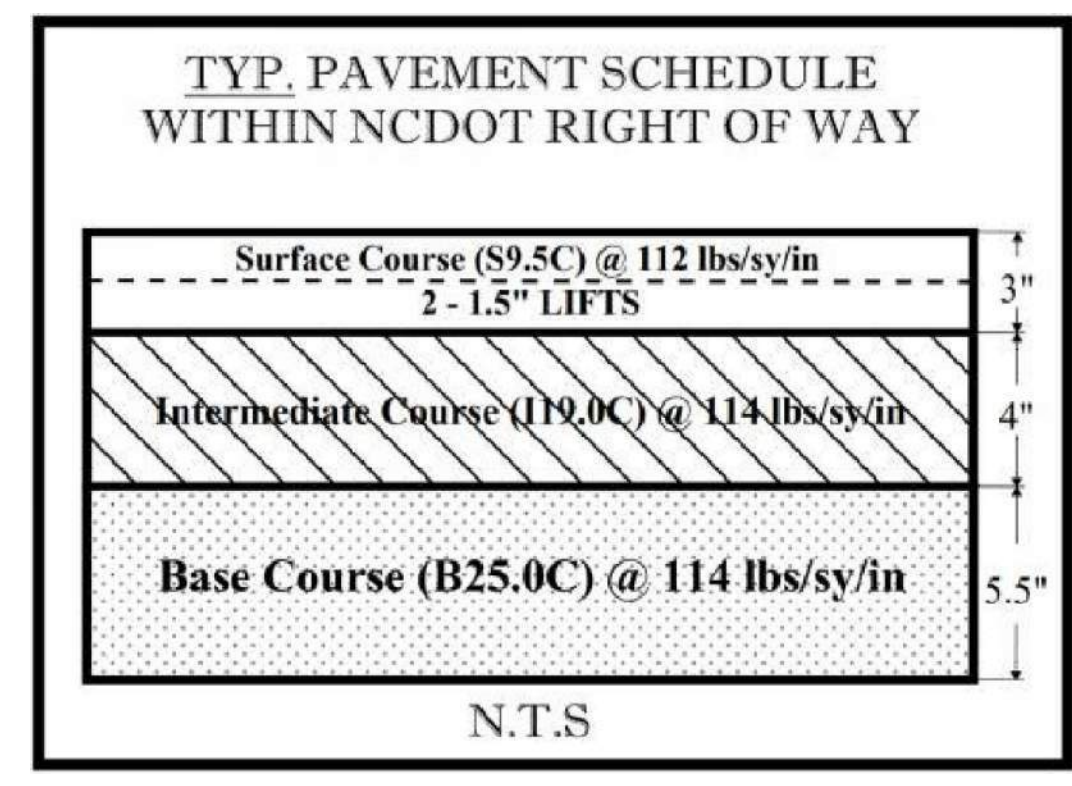
NOTE: THE PAVEMENT SECTIONS CONTAINED IN THIS PLAN SHALL BE REVIEWED AND/OR MODIFIED BY A LICENSED GEOTECHNICAL ENGINEER RETAINED BY THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER PRIOR TO THE BEGINNING OF CONSTRUCTION.

**2 CONCRETE PAVING - PEDESTRIAN**  
PEDESTRIAN SIDEWALK

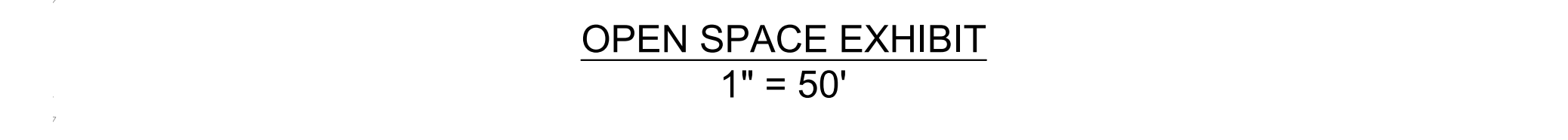
- KEY:**
- 1 1.125" TYPE SF-9.5A SURFACE ASPHALT COURSE
  - 2 1.175" TYPE SF-9.5A INTERMEDIATE ASPHALT COURSE
  - 3 6" COMPACTED AGGREGATE BASE
  - 4 COMPACTED SUBGRADE, SEE NOTE # 2



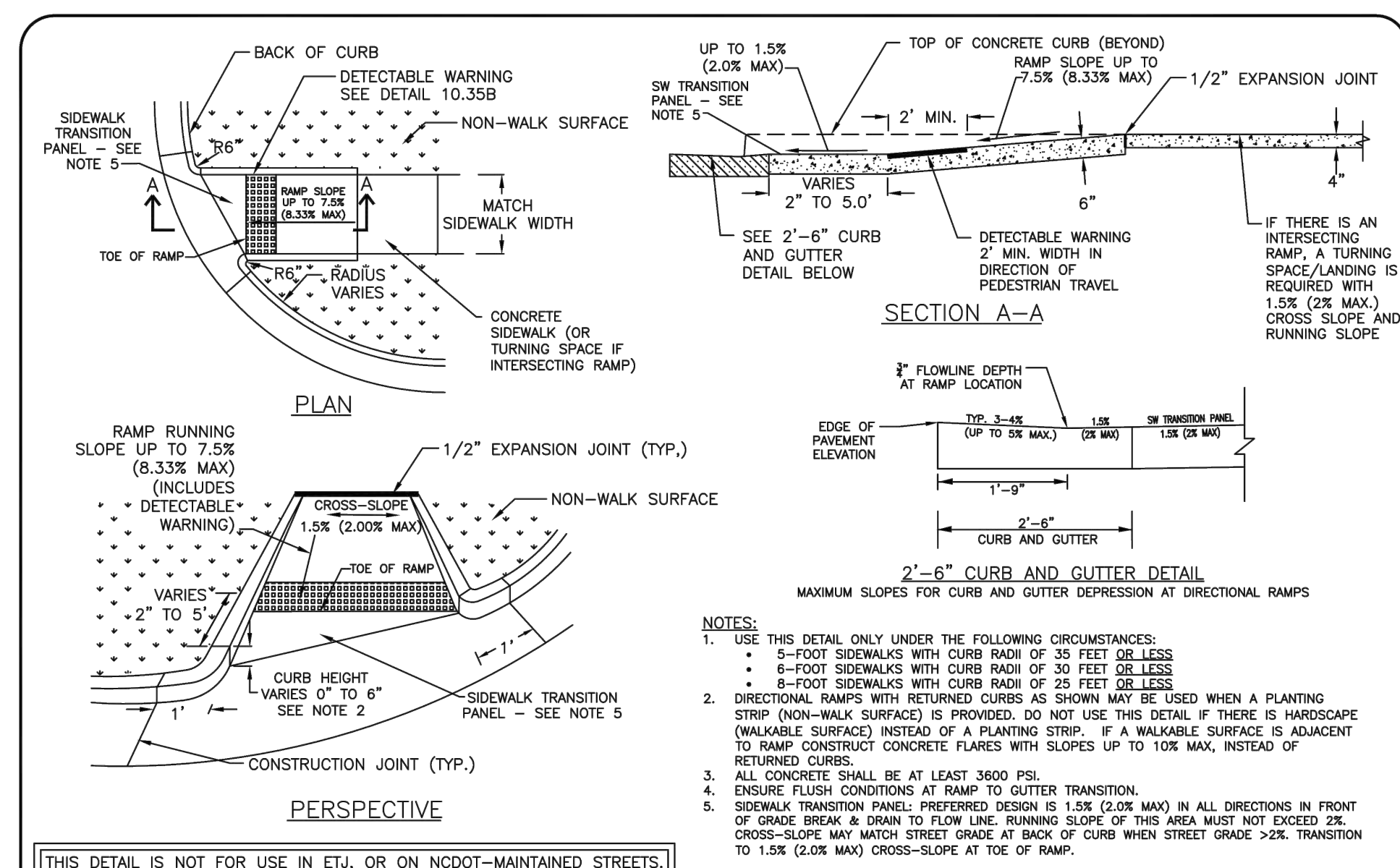
NOTE: THE PAVEMENT SECTIONS CONTAINED IN THIS PLAN SHALL BE REVIEWED AND/OR MODIFIED BY A LICENSED GEOTECHNICAL ENGINEER RETAINED BY THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER PRIOR TO THE BEGINNING OF CONSTRUCTION.



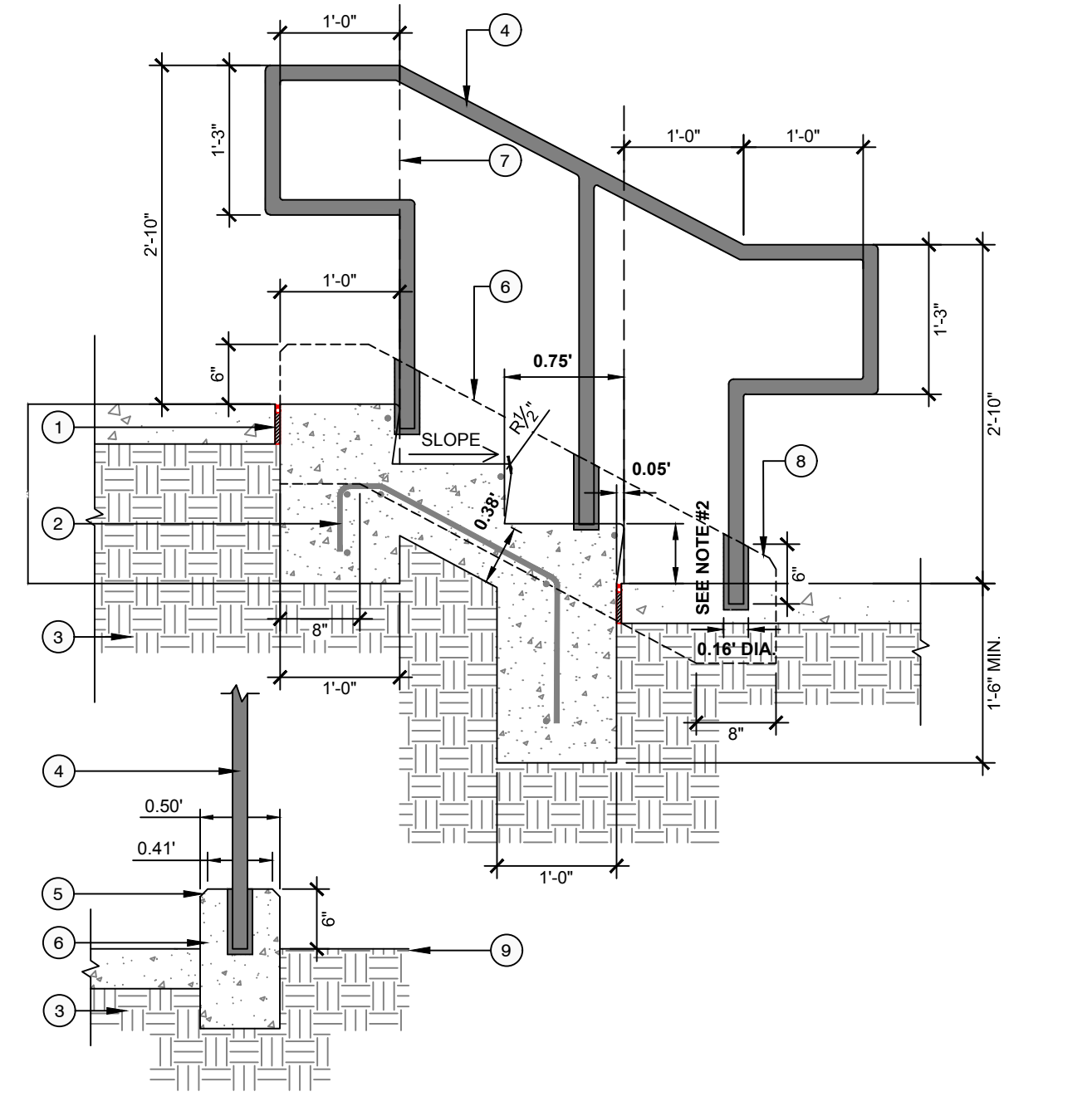
**FULL DEPTH PAVEMENT WITHIN R/W AT TUCKASEEGEE ROAD**



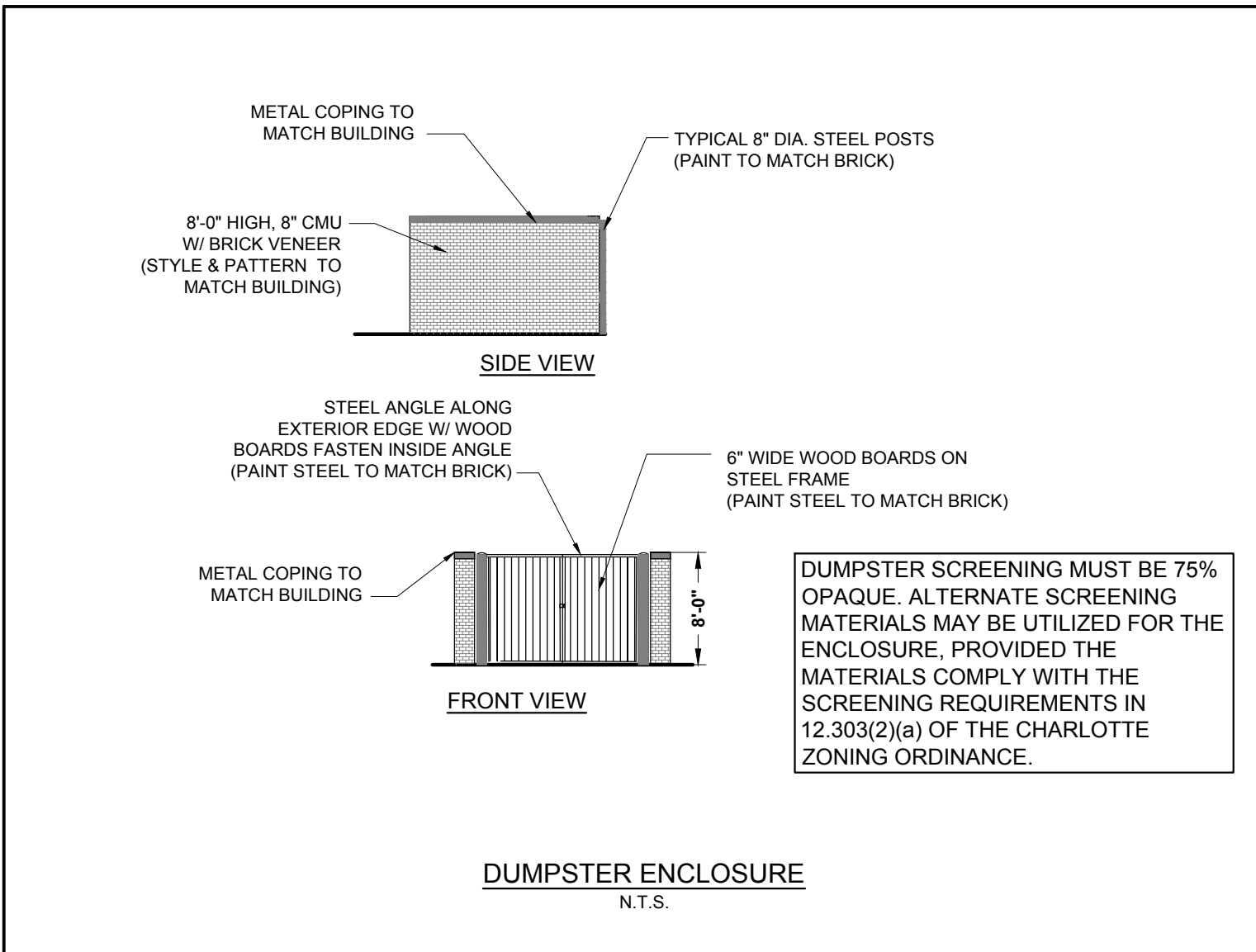
**3 CONCRETE PAVING - HEAVY DUTY**  
DUMPSTER ENCLOSURE & DRIVE ENTRANCE



**4 ASPHALT PAVEMENT - LIGHT DUTY**  
PARKING AREAS



- KEY:**
- 1 1/2" IMPREGATED EXP. JT.
  - #4 REBAR, 18" O.C EACH WAY
  - 98% COMPACTED SUBGRADE
  - 1-1/2" O.D GALVANIZED TUBE RAIL, PAINTED BLACK FINISH
  - 3/4" CHAMFERED EDGE
  - CONCRETE STAIR + CHEEK WALL, 3,600 PSI @ 28 DAYS, LIGHT BROOM FINISH ON ALL EXPOSED FACES
  - ALIGN BREAK IN RAIL WITH NOSE OF TOP TREAD
  - CORE DRILL CONCRETE AND GROUT POST IN 2-1/2" SLEEVE, APPLY NON-SHRINK GROUT
  - FINISHED GRADE, SEE GRADING PLAN
- NOTES:**
- TREAD AND RISER QUANTITY VARY. SEE GRADING PLAN
  - RISER HEIGHTS SHALL BE EQUAL. SEE GRADING PLAN FOR ELEVATIONS
  - EXPANSION JOINTS SHALL BE PRE-MOLDED BITUMINOUS IMPREGATED FIBERBOARD
  - ALL LANDINGS TO BE AS LONG AS STAIRS ARE WIDE MIN.
  - LANDINGS TO BE PROVIDED AT TOP AND BOTTOM OF ALL STAIRS. 2% MAX SLOPE ON ALL LANDINGS
  - GRIND ALL WELDS SMOOTH
  - HANDRAIL LENGTH VARIES PER STAIR CONFIGURATION
  - LOCATE CENTER POST EQUIDISTANT FROM END POSTS
  - ALL STEPS WIDER THAN 60" REQUIRE INTERMEDIATE HAND RAILS
  - ALL STEPS WITH 2 OR MORE RISERS REQUIRE HANDRAILS ON BOTH SIDES
  - PROVIDE SHOP DRAWINGS OF ALL STAIR CONFIGURATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION



**APPROVED FOR CONSTRUCTION**

CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT

John W. ...

**GATEWAY DESIGN GROUP, PLLC**

8516 FOXBRIDGE DR WEDDINGTON, NC 28181

910-840-2861

NC FIRM # P-2147

SEAL  
045773  
ENGINEER  
THORNTON M. EMERY

**LUCY HOMES**

6112 TUCKASEEGEE ROAD TOWNHOMES

PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT # 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB

TITLE  
**SITE DETAILS**

SHEET NO.  
**C-2.3**

C:\Users\Gmg\OneDrive\Desktop\Projects\2023-2024-2025 - 6112 Tuckaseegee Rd\CADD\Plan sheets\C-2.2 - Site Details.dwg GRCG

**ENGINEERING** Emily Chien  
**EROSION CONTROL** Matthew Yankech  
**URBAN FORESTRY** Vincent Condon  
**CDOT** Jacobus Peeters

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlotte.nc.gov>

- PROPOSED SILT FENCE
- DRAINAGE AREA
- PROPOSED SILT FENCE STONE OUTLET
- PROPOSED INLET PROTECTION
- TEMPORARY DIVERSION
- POROUS BAFFLE
- TREE PROTECTION FENCE
- WATTLE
- SC150 EROSION CONTROL MATTING (SLOPE STABILIZATION)

**NARRATIVE**

THIS PROJECT IS LOCATED IN CITY OF CHARLOTTE, NORTH CAROLINA. THE TOTAL DISTURBED ACREAGE FOR THE PROPOSED DEVELOPMENT IS APPROXIMATELY 1.89 ACRES. THE SCOPE OF WORK INCLUDES CLEARING, STRIPPING AND GRADING FOR DRIVEWAYS, PARKING, INSTALLATION OF EROSION CONTROL MEASURES, STORM DRAINAGE, CURB & GUTTER, SIDEWALKS, UTILITIES, AND PAVING.

BASED ON SCS SOIL SURVEY MAP, SITE CONSISTS OF C6d2 - CECIL SANDY CLAY LOAM, 2-8 PERCENT SLOPES HSG "B" C6d2 - CECIL SANDY CLAY LOAM, 8-15 PERCENT SLOPES HSG "B"

DOWNSTREAM RECEIVING WATERBODY: PAW CREEK  
 RECEIVING STREAM INDEX: 11-124-1  
 LAT. 35.254  
 LONG: -80.925

THE PORTION OF THE SITE THAT IS BEING DEVELOPED IS LOCATED ZONE X PER FEMA FLOOD MAP COMMUNITY MAP NUMBER 371045-2400K DATED 09/02/2015.

**EROSION CONTROL NOTES**

1. ALL "STD." NUMBERS REFER TO THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. ON-SITE BURIAL PIT LOCATIONS REQUIRE AN ON-SITE DEMOLITION PERMIT FROM THE ZONING ADMINISTRATOR AND MUST BE DOCUMENTED ON FINAL PLAN.
3. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN, PERIMETER DIKES, SWALES, DITCHES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM LAST LAND-DISTURBING ACTIVITY.
5. ALL OTHER DISTURBED AREA SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
7. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING.
8. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
9. DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT THE PRE-CONSTRUCTION MEETING.
10. ANY GRADING BEYOND THE THE DENIED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO FINE.
11. OFF-SITE CONSTRUCTION OR GRADING REQUIRES A LETTER FROM THE AFFECTED PROPERTY OWNER GRANTING PERMISSION.
12. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDEED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN.
13. ALL AREAS ARE TO BE SEEDED AND MULCHED PER THE NEW STABILIZATION TIMEFRAME TABLE ON THIS SHEET.
14. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF CITY OF CHARLOTTE.
15. MAXIMUM TEMPORARY GRADED SLOPES ARE 2:1. WHEN STEEPER SLOPES MUST BE USED, PLANS SHALL BE SEALED BY A GEOTECHNICAL ENGINEER FOR SLOPE STABILITY AND FINAL SURFACE STABILIZATION.
16. ALL FLOW FROM PERMANENT / TEMPORARY DITCHES SHOULD BE DIRECTED TOWARDS SEDIMENT TRAPS UNTIL SITE IS COMPLETELY STABILIZED.
17. ALL PERMANENT SLOPES STEEPER THAN 3:1 SHALL HAVE EROSION CONTROL MAT EQUIVALENT TO NORTH AMERICAN GREEN S75.

**ENHANCED EROSION CONTROL NOTES**

1. SURFACE WATER DRAWDOWN DEVICES (SKIMMERS) SHALL BE INSTALLED IN ALL SEDIMENT BASINS. ROCK COFFER FOREBAYS SHALL BE USED IN CONJUNCTION WITH ALL SEDIMENT BASINS. THE BASIN SHALL ALSO HAVE A VOLUME TWENTY FIVE (25%) PERCENT GREATER THAN 1,800 CUBIC FT PER DRAINAGE ACRE, WHEN POSSIBLE.
2. THE AMOUNT OF UNCOVERED AREA AT ANY ONE TIME SHALL BE LIMITED TO NO MORE THAN 20 ACRES, WITHOUT SPECIAL APPROVAL FROM THE JURISDICTIONAL AUTHORITY.
3. POLYACRYLAMIDES (PAM) SHALL BE USED TO REDUCE TURBIDITY AND SUSPENDED SOLIDS WHENEVER A SEDIMENT TRAP, BASIN, PIT, HOLE OF BUILDING FOUNDATION IS BEING PUMPED OUT TO REMOVED SEDIMENT LADEN WATER. THIS ACTIVITY MUST BE INSPECTED AND APPROVED BY THE CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.
4. POLYACRYLAMIDES (PAM) MAY BE REQUIRED ON SITE, AS DETERMINED BY THE CITY EROSION CONTROL INSPECTOR.
5. DOUBLE ROW OF HIGH HAZARD SILT FENCE WITH WIRE BACKING AND STONE SHALL BE USED ALONG WETLANDS, STREAMS, LAKES OR OTHER SURFACE WATER BODIES AS WELL AS ADJACENT TO ALL S.W.I.M. OR OTHER WATER QUALITY BUFFERS. SINGLE ROW OF SILT FENCE WITH WIRE BACKING AND STONE MAY BE REQUIRED ON ALL OTHER AREAS, AS DETERMINED BY THE JURISDICTIONAL AUTHORITY OR CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.
6. A 10-FOOT UNDISTURBED BUFFER SHALL BE PROVIDED AROUND THE OUTSIDE EDGE OF INTERMITTENT AND PERENNIAL STREAM, PONDS AND WETLANDS.
7. A GROUND COVER SUFFICIENT TO RESTRAIN ACCELERATED EROSION MUST BE PROVIDED WITHIN 7 CALENDAR DAYS OF THE DATE OF LAST LAND DISTURBING ACTIVITY ON ANY PORTION OF THE PROJECT.
8. ALL DIVERSION DITCHES AND INTERIOR BASIN SLOPES MUST BE MATTED.
9. SUFFICIENT ACCESS FOR CONSTRUCTION AND MAINTENANCE MUST BE PROVIDED AT THE TOE OF ALL RETAINING WALLS THAT ARE 4' OR HIGHER. THE MINIMUM ACCESS WIDTH SHOULD BE NO LESS THAN SIX FEET.
10. ALL BASIN SPILLWAYS SHALL BE SIZED TO PASS THE 25-YEAR STORM EVENT.
11. FILL SLOPE STEEPNESS SHALL BE LIMITED TO 2:1. SLOPES STEEPER THAN 3:1 MUST BE TERRACED OR OTHERWISE PROVIDE AN APPROVED ENGINEERED SOLUTION. SLOPES 3:1 OR FLATTER MUST BE DESIGNED AS SET FORTH IN THE NC SOIL EROSION & SEDIMENT PLANNING & DESIGN MANUAL, STANDARD 8.02a.
12. ALL PLANS WILL CARRY A "PERFORMANCE RESERVATION"
13. ALL SELF INSPECTION LOG BOOK ENTRIES WILL BE ELECTRONICALLY SENT TO THE AREA INSPECTOR, WITHIN 2 WORKING DAYS OF A QUALIFYING RAIN EVENT OR WEEKLY (WHICHEVER IS SHORTER).
14. FOR EROSION CONTROL BASINS WITH A DRAINAGE AREA GREATER THAN 10 ACRES, TURBIDITY MEASUREMENTS MAY BE REQUIRED AT THE DISCRETION OF THE JURISDICTIONAL AUTHORITY. TO MEASURE CLARITY OF BASIN EFFLUENT AND ANY POTENTIAL IMPACT TO RECEIVING WATERS AT THE TIME OF RAINFALL-TRIGGERED INSPECTIONS, READINGS MUST BE COLLECTED AT THE BASIN OUTFALL (TO MEASURE CLARITY OF BASIN EFFLUENT), UPSTREAM OF THE DISCHARGE POINT (TO MEASURE STREAM IMPACTS OF BASIN EFFLUENT) WHEN POSSIBLE. THE RESULTS MUST BE LOGGED IN THE INSPECTION REPORTS.

**CONSTRUCTION SEQUENCE**

1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM CITY OF CHARLOTTE. SET UP AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBANCE ACTIVITY IS A VIOLATION OF CHAPTER 17 OF THE CITY CODE AND IS SUBJECT TO FINE.
3. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE.
4. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF ANY EROSION CONTROL MEASURES.
5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
6. STABILIZE SITE AS AREAS ARE BROUGHT TO FINAL GRADE.
7. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL, PLANNING AND DESIGN MANUAL, U.S. DEPARTMENT OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CURRENT VERSION).

**PHASE 1**

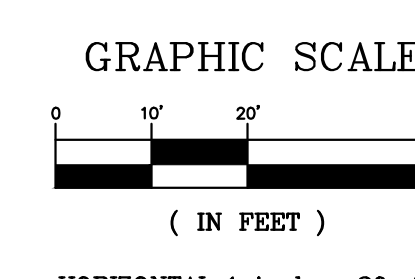
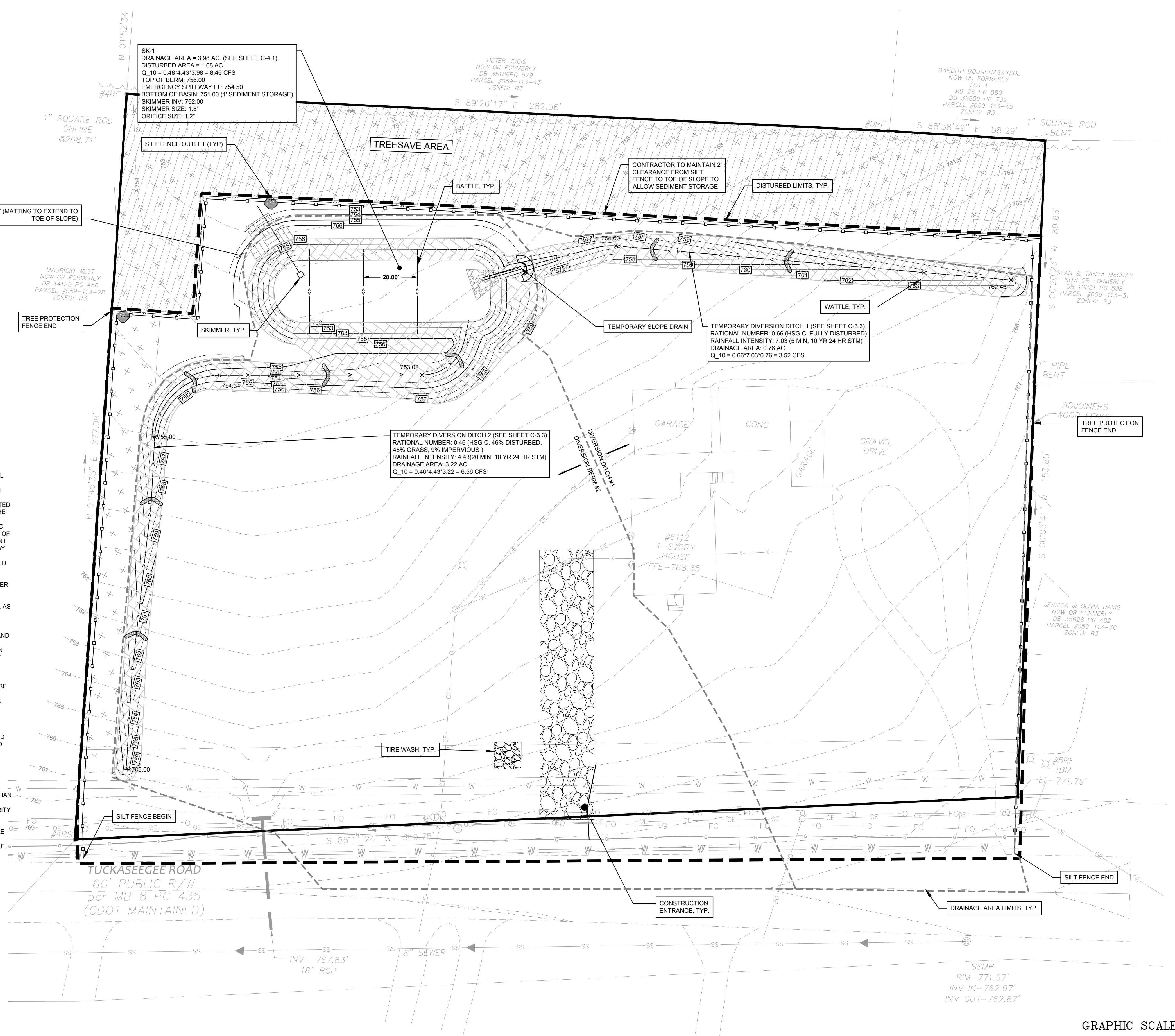
1. CLEAR ONLY AS NECESSARY TO INSTALL EROSION CONTROL MEASURES IN THIS PHASE.
2. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION, SKIMMER BASIN SK-1, DIVERSION DITCHES, STORM STRUCTURES AND OTHER MEASURES AS SHOWN ON PLANS.
3. SEED, MULCH, AND TACK BASINS.
4. GRADING PERMIT MAY BE OBTAINED AT THIS POINT. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO BEGINNING NEXT PHASE.



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC. AS NECESSARY TO INSURE SAFETY.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

**EROSION CONTROL PHASE 1**

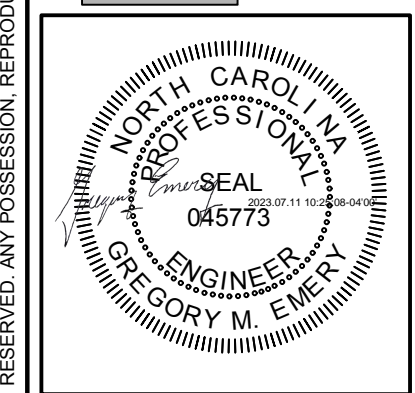
NOTE: ALL TEMPORARY DIVERSIONS SHALL HAVE SC150 EROSION CONTROL MATTING.



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APPROVED FOR CONSTRUCTION  
 CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT OF PUBLIC WORKS  
 John W. ...  
 08/02/2023

**GATEWAY DESIGN GROUP, PLLC**  
 8516 FOXBRIDGE DR WEDDINGTON, NC 28184  
 910-840-2861  
 NC FIRM # P-2147



**LUCY HOMES**  
 6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT #: 2022-020 DATE: 07/10/2023  
 DRAWN BY: GME CHECKED BY: JB  
 TITLE: EROSION CONTROL PLAN PHASE 1  
 SHEET NO.: **C-3.0**



**ENGINEERING**  
 PCSO / DETENTION / DRAINAGE PLAN

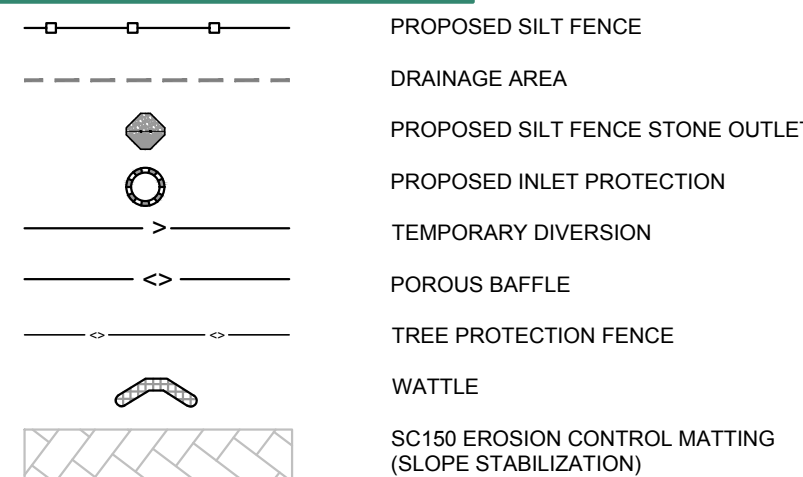
**EROSION CONTROL**

**URBAN FORESTRY**

**CDOT**

Emily Chien  
 Matthew Yankech  
 Vincent Condon  
 Jacobus Peeters

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>



**EROSION CONTROL NOTES**

1. ALL "STD." NUMBERS REFER TO THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. ON-SITE BURIAL PIT LOCATIONS REQUIRE AN ON-SITE DEMOLITION PERMIT FROM THE ZONING ADMINISTRATOR AND MUST BE DOCUMENTED ON FINAL PLAN.
3. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO FINE.
4. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM LAST LAND DISTURBING ACTIVITY.
5. ALL OTHER DISTURBED AREA SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
7. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING.
8. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
9. DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT THE PRE-CONSTRUCTION MEETING.
10. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO FINE.
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12. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN.
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17. ALL PERMANENT SLOPES STEEPER THAN 3:1 SHALL HAVE EROSION CONTROL MAT EQUIVALENT TO NORTH AMERICAN GREEN ST5.

**CONSTRUCTION SEQUENCE**

1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM CITY OF CHARLOTTE.
2. SET UP AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBANCE ACTIVITY IS A VIOLATION OF CHARTER OF THE CITY CODE AND IS SUBJECT TO FINE.
3. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE.
4. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF ANY EROSION CONTROL MEASURES.
5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
6. STABILIZE SITE AS AREAS BROUGHT TO FINAL GRADE.
7. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPARTMENT OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CURRENT VERSION).

**PHASE 2**

1. CONTRACTOR TO PROCEED WITH DEMOLITION OF EXISTING FEATURES.
2. CONTRACTOR TO INSTALL CLEAN WATER BYPASS STORM SEWER PIPE FROM FES-1 TO C16 AND INSTALL INLET PROTECTION PRIOR TO INSTALLATION OF UNDERGROUND DETENTION.
3. BEGIN MASS GRADING OF UNDERGROUND DETENTION SYSTEM, UTILITIES AND REMAINING STORM SEWER.
4. SK-1 SHALL REMAIN IN PLACE UNTIL ALL STORM SEWER PIPING AND UNDERGROUND DETENTION HAS BEEN INSTALLED AND APPROVAL TO REMOVE HAS BEEN GIVEN BY THE EROSION CONTROL INSPECTOR. CONTRACTOR TO TAKE EXTRA MEASURES TO MINIMIZE SEDIMENT BUILDUP IN UNDERGROUND SYSTEM.

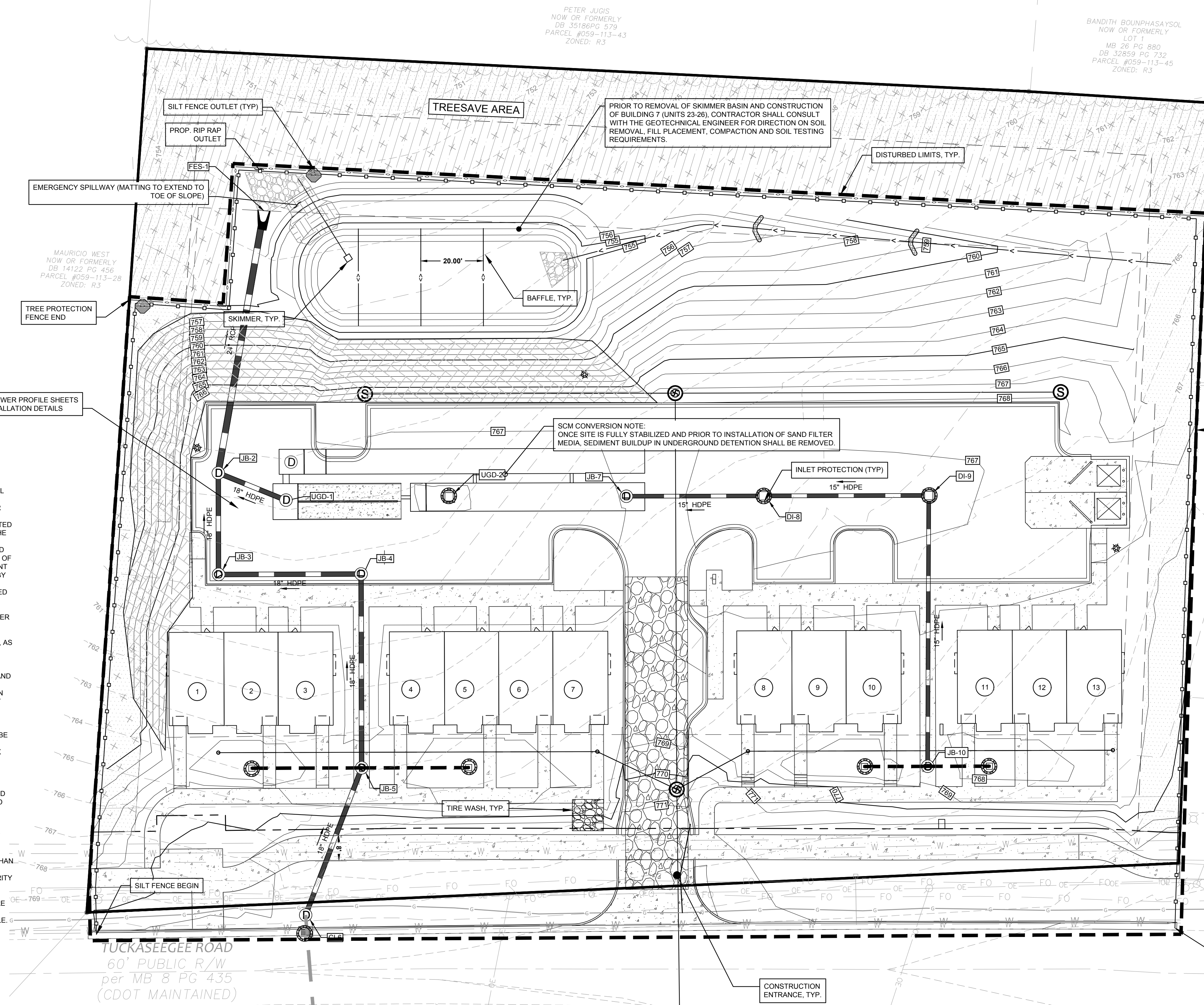
**MAINTENANCE PLAN**

THE FOLLOWING MAINTENANCE PLAN SHALL BE FOLLOWED UNTIL THE SITE IS COMPLETELY STABILIZED AFTER CONSTRUCTION. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL STRUCTURES.

1. ALL EROSION CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING ANY RAINFALL PRODUCING RUNOFF AND AT LEAST ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY SO THAT ALL EROSION CONTROL MEASURES ARE MAINTAINED AS DESIGNED.
2. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS IN ORDER TO MAINTAIN A DENSE VEGETATIVE COVER.
3. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT FENCE AFTER EACH STORM EVENT OR SEDIMENT FENCE SHOULD BE REPLACED. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
4. SKIMMER/SEDIMENT BASINS SHALL BE CLEANED OUT WHEN THE LEVEL REACHES THE MID-DEPTH POINT BELOW THE WEIR ELEVATION. WASHED STONE SHALL BE CLEANED OR REPLACED WHEN THE BASIN NO LONGER DRAINS PROPERLY.
5. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND WATTLES AFTER EACH STORM EVENT. ALL WATTLES SHALL BE CHECKED, RESTAKED, OR REPLACED IF NECESSARY.
6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.

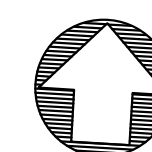
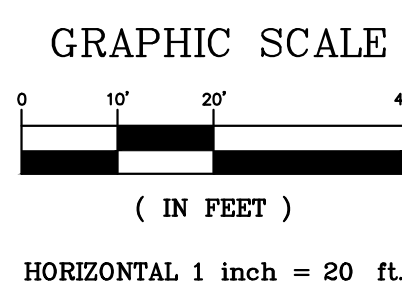
**ENHANCED EROSION CONTROL NOTES**

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2. THE AMOUNT OF UNCOVERED AREA AT ANY ONE TIME SHALL BE LIMITED TO NO MORE THAN 20 ACRES, WITHOUT SPECIAL APPROVAL FROM THE JURISDICTIONAL AUTHORITY.
3. POLYACRYLAMIDES (PAM) SHALL BE USED TO REDUCE TURBIDITY AND SUSPENDED SOLIDS WHENEVER A SEDIMENT TRAP, BASIN, PIT, HOLE OF BUILDING FOUNDATION IS BEING PUMPED OUT TO REMOVED SEDIMENT LADEN WATER. THIS ACTIVITY MUST BE INSPECTED AND APPROVED BY THE CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.
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5. DOUBLE ROW OF HIGH HAZARD SILT FENCE WITH WIRE BACKING AND STONE SHALL BE USED ALONG WETLANDS, STREAMS, LAKES OR OTHER SURFACE WATER BODIES AS WELL AS ADJACENT TO ALL S.W.I.M. OR OTHER WATER QUALITY BUFFERS. SINGLE ROW OF SILT FENCE WITH WIRE BACKING AND STONE MAY BE REQUIRED ON ALL OTHER AREAS, AS DETERMINED BY THE JURISDICTIONAL AUTHORITY OR CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.
6. A 10-FOOT UNDISTURBED BUFFER SHALL BE PROVIDED AROUND THE OUTSIDE EDGE OF INTERMITTENT AND PERENNIAL STREAM, PONDS AND WETLANDS.
7. A GROUND COVER SUFFICIENT TO RESTRAIN ACCELERATED EROSION MUST BE PROVIDED WITHIN 7 CALENDAR DAYS OF THE DATE OF LAST LAND DISTURBING ACTIVITY ON ANY PORTION OF THE PROJECT.
8. ALL DIVERSION DITCHES AND INTERIOR BASIN SLOPES MUST BE MATTED.
9. SUFFICIENT ACCESS FOR CONSTRUCTION AND MAINTENANCE MUST BE PROVIDED AT THE TOE OF ALL RETAINING WALLS THAT ARE 4' OR HIGHER. THE MINIMUM ACCESS WIDTH SHOULD BE NO LESS THAN SIX FEET.
10. ALL BASIN SPILLWAYS SHALL BE SIZED TO PASS THE 25-YEAR STORM EVENT.
11. FILL SLOPE STEEPNESS SHALL BE LIMITED TO 2:1. SLOPES STEEPER THAN 3:1 MUST BE TERRACED OR OTHERWISE PROVIDE AN APPROVED ENGINEERED SOLUTION. SLOPES 3:1 OR FLATTER MUST BE DESIGNED AS SET FORTH IN THE NC SOIL EROSION & SEDIMENT PLANNING & DESIGN MANUAL, STANDARD 8.02A.
12. ALL PLANS WILL CARRY A "PERFORMANCE RESERVATION".
13. ALL SELF INSPECTION LOG BOOK ENTRIES WILL BE ELECTRONICALLY SENT TO THE AREA INSPECTOR, WITHIN 2 WORKING DAYS OF A QUALIFYING RAIN EVENT OR WEEKLY (WHICHEVER IS SHORTER).
14. FOR EROSION CONTROL BASINS WITH A DRAINAGE AREA GREATER THAN 10 ACRES, TURBIDITY MEASUREMENTS MAY BE REQUIRED AT THE DISCRETION OF THE JURISDICTIONAL AUTHORITY. TO MEASURE CLARITY OF BASIN EFFLUENT AND ANY POTENTIAL IMPACT TO RECEIVING WATERS AT THE TIME OF RAINFALL TRIGGERED INSPECTIONS, READINGS MUST BE COLLECTED AT THE BASIN OUTFALL (TO MEASURE CLARITY OF BASIN EFFLUENT), UPSTREAM OF THE DISCHARGE POINT (TO MEASURE STREAM IMPACTS OF BASIN EFFLUENT) WHEN POSSIBLE. THE RESULTS MUST BE LOGGED IN THE INSPECTION REPORTS.



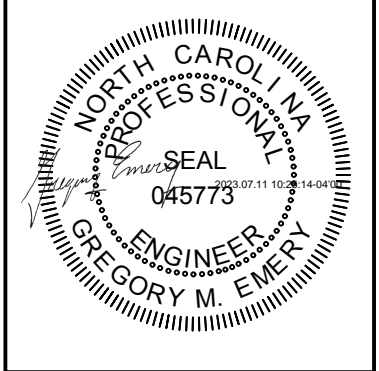
**EROSION CONTROL PHASE 2**

NOTE: ALL TEMPORARY DIVERSIONS SHALL HAVE SC150 EROSION CONTROL MATTING.



**APPROVED FOR CONSTRUCTION**  
 CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
 John W. ...  
 02/2023

**GATEWAY DESIGN GROUP, PLLC**  
 8516 FOXBRIDGE DR WEDDINGTON, NC 28111  
 910-840-2661  
 NC FIRM # P-2147



**LUCY HOMES**  
 6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckasegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT # 2022-020 DATE: 07/10/2023  
 DRAWN BY: GME CHECKED BY: JB

TITLE  
**EROSION CONTROL PLAN PHASE 2**

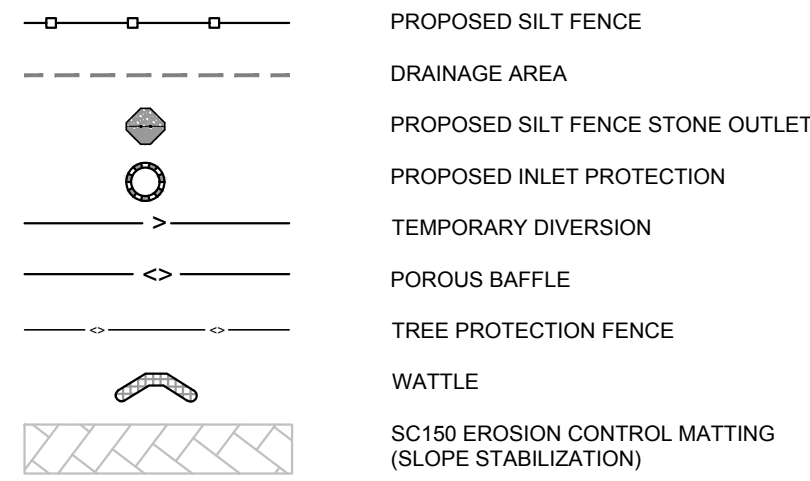
SHEET NO.  
**C-3.1**

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**ENGINEERING** Emily Chien  
**EROSION CONTROL** Matthew Yankech  
**URBAN FORESTRY** Vincent Condon  
**CDOT** Jacobus Peeters

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/id>



**EROSION CONTROL NOTES**

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- 7. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE IMMEDIATE TERRACING.
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  - 3. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE.
  - 4. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF ANY EROSION CONTROL MEASURES.
  - 5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
  - 6. STABILIZE SITE AS AREAS ARE BROUGHT TO FINAL GRADE.
  - 7. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPARTMENT OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CURRENT VERSION).
- PHASE 2**
- 1. ONCE SITE IS STABILIZED OUTSIDE OF UNITS 18-25) AND PERMISSION IS GIVEN BY EROSION CONTROL INSPECTOR, REMOVE SK-1.
  - 2. SEED AND MULCH GRASS AREAS AS SITE IS BROUGHT UP TO FINISH GRADE.
  - 3. CONTRACTOR TO TAKE EXTRA MEASURES TO MINIMIZE SEDIMENT BUILDUP IN UNDERGROUND DETENTION SYSTEM. SEDIMENT SHALL BE CLEANED OUT WHEN BUILDUP EXCEEDS 1'. UNDERGROUND DETENTION SHALL FUNCTION AS EROSION CONTROL MEASURE UNTIL SITE IS FULLY STABILIZED AND EROSION CONTROL INSPECTOR APPROVES SCM CONVERSION. UPON APPROVAL, UNDERGROUND CHAMBERS SHALL HAVE ALL SEDIMENT REMOVED AND SAND FILTER MEDIA INSTALLED.
  - 4. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVING REMAINDER OF EROSION CONTROL DEVICES (SILT FENCE, TREE PROTECTION FENCE, INLET PROTECTION).

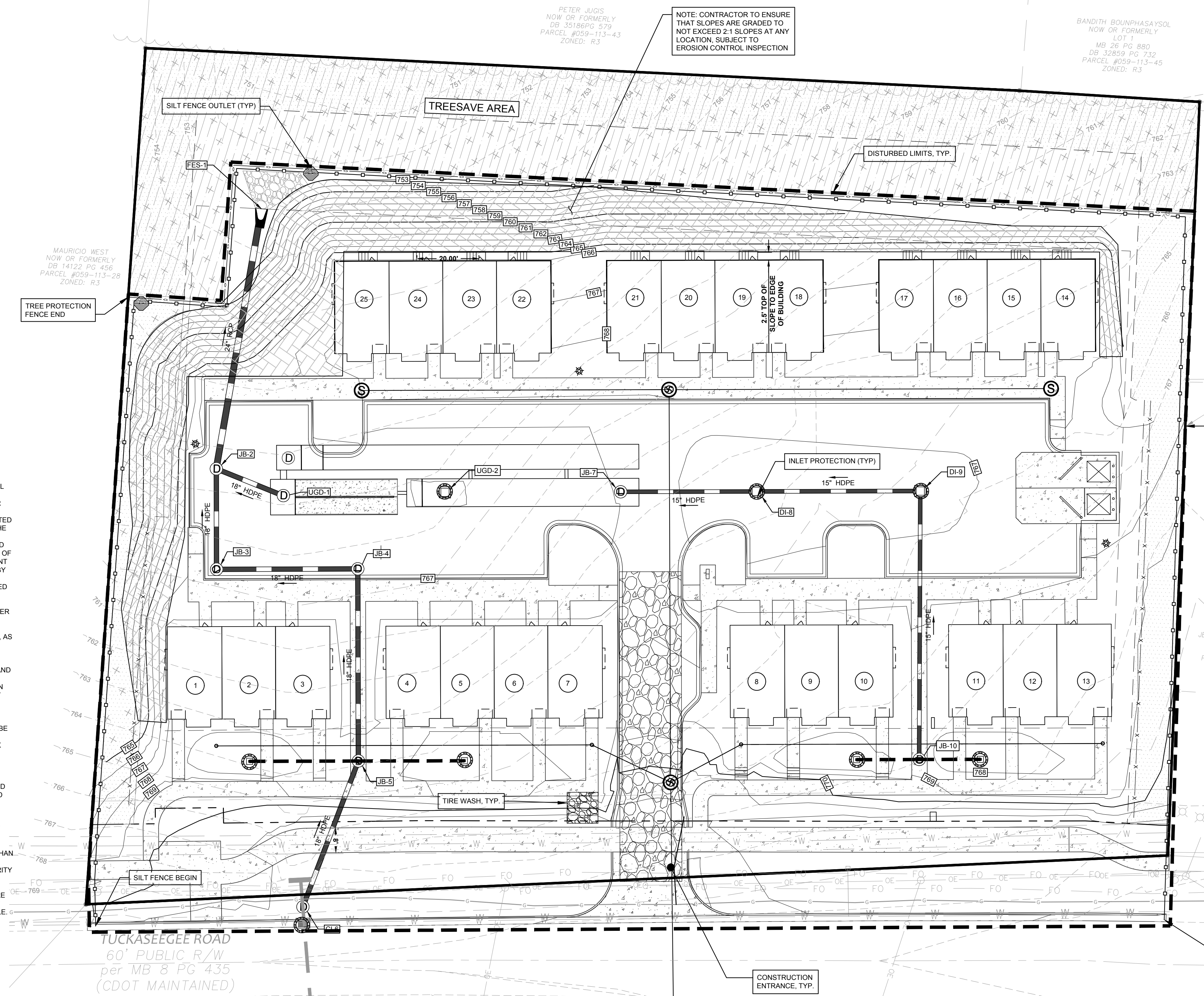
**MAINTENANCE PLAN**

THE FOLLOWING MAINTENANCE PLAN SHALL BE FOLLOWED UNTIL THE SITE IS COMPLETELY STABILIZED AFTER CONSTRUCTION. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL STRUCTURES.

- 1. ALL EROSION CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING ANY RAINFALL PRODUCING RUNOFF AND AT LEAST ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY SO THAT ALL EROSION CONTROL MEASURES ARE MAINTAINED AS DESIGNED.
- 2. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS IN ORDER TO MAINTAIN A DENSE VEGETATIVE COVER.
- 3. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT FENCE AFTER EACH STORM EVENT OR SEDIMENT FENCE SHOULD BE REPLACED. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.
- 4. SKIMMER/SEDIMENT BASINS SHALL BE CLEANED OUT WHEN THE LEVEL REACHES THE MID-DEPTH POINT BELOW THE WEIR ELEVATION. WASHED STONE SHALL BE CLEANED OR REPLACED WHEN THE BASIN NO LONGER DRAINS PROPERLY.
- 5. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND WATTLES AFTER EACH STORM EVENT. ALL WATTLES SHALL BE CHECKED, RESTACKED, OR REPLACED IF NECESSARY.
- 6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.

**ENHANCED EROSION CONTROL NOTES**

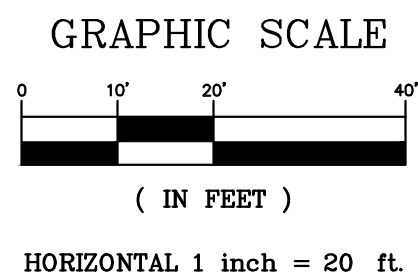
- 1. SURFACE WATER DRAWDOWN DEVICES (SKIMMERS) SHALL BE INSTALLED IN ALL SEDIMENT BASINS. ROCK COFFER FOREBAYS SHALL BE USED IN CONJUNCTION WITH ALL SEDIMENT BASINS. THE BASIN SHALL ALSO HAVE A VOLUME TWENTY FIVE (25%) PERCENT GREATER THAN 1,800 CUBIC FT PER DRAINAGE ACRE, WHEN POSSIBLE.
- 2. THE AMOUNT OF UNCOVERED AREA AT ANY ONE TIME SHALL BE LIMITED TO NO MORE THAN 20 ACRES, WITHOUT SPECIAL APPROVAL FROM THE JURISDICTIONAL AUTHORITY.
- 3. POLYACRYLAMIDES (PAM) SHALL BE USED TO REDUCE TURBIDITY AND SUSPENDED SOLIDS WHENEVER A SEDIMENT TRAP, BASIN, PIT, HOLE OF BUILDING FOUNDATION IS BEING PUMPED OUT TO REMOVED SEDIMENT LADEN WATER. THIS ACTIVITY MUST BE INSPECTED AND APPROVED BY THE CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.
- 4. POLYACRYLAMIDES (PAM) MAY BE REQUIRED ON SITE, AS DETERMINED BY THE CITY EROSION CONTROL INSPECTOR.
- 5. DOUBLE ROW OF HIGH HAZARD SILT FENCE WITH WIRE BACKING AND STONE SHALL BE USED ALONG WETLANDS, STREAMS, LAKES OR OTHER SURFACE WATER BODIES AS WELL AS ADJACENT TO ALL S.W.I.M. OR OTHER WATER QUALITY BUFFERS. SINGLE ROW OF SILT FENCE WITH WIRE BACKING AND STONE MAY BE REQUIRED ON ALL OTHER AREAS, AS DETERMINED BY THE JURISDICTIONAL AUTHORITY OR CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.
- 6. A 10-FOOT UNDISTURBED BUFFER SHALL BE PROVIDED AROUND THE OUTSIDE EDGE OF INTERMITTENT AND PERENNIAL STREAM, PONDS AND WETLANDS.
- 7. A GROUND COVER SUFFICIENT TO RESTRAIN ACCELERATED EROSION MUST BE PROVIDED WITHIN 7 CALENDAR DAYS OF THE DATE OF LAST LAND DISTURBING ACTIVITY ON ANY PORTION OF THE PROJECT.
- 8. ALL DIVERSION DITCHES AND INTERIOR BASIN SLOPES MUST BE MATTED.
- 9. SUFFICIENT ACCESS FOR CONSTRUCTION AND MAINTENANCE MUST BE PROVIDED AT THE TOE OF ALL RETAINING WALLS THAT ARE 4' OR HIGHER. THE MINIMUM ACCESS WIDTH SHOULD BE NO LESS THAN SIX FEET.
- 10. ALL BASIN SPILLWAYS SHALL BE SIZED TO PASS THE 25-YEAR STORM EVENT.
- 11. FILL SLOPE STEEPNESS SHALL BE LIMITED TO 2:1. SLOPES STEEPER THAN 3:1 MUST BE TERRACED OR OTHERWISE PROVIDE AN APPROVED ENGINEERED SOLUTION. SLOPES 3:1 OR FLATTER MUST BE DESIGNED AS SET FORTH IN THE NC SOIL EROSION & SEDIMENT PLANNING & DESIGN MANUAL, STANDARD 6.02A.
- 12. ALL PLANS WILL CARRY A "PERFORMANCE RESERVATION".
- 13. ALL SELF INSPECTION LOG BOOK ENTRIES WILL BE ELECTRONICALLY SENT TO THE AREA INSPECTOR, WITHIN 2 WORKING DAYS OF A QUALIFYING RAIN EVENT OR WEEKLY (WHICHEVER IS SHORTER).
- 14. FOR EROSION CONTROL BASINS WITH A DRAINAGE AREA GREATER THAN 10 ACRES, TURBIDITY MEASUREMENTS MAY BE REQUIRED AT THE DISCRETION OF THE JURISDICTIONAL AUTHORITY. TO MEASURE CLARITY OF BASIN EFFLUENT AND ANY POTENTIAL IMPACT TO RECEIVING WATERS AT THE TIME OF RAINFALL TRIGGERED INSPECTIONS, READINGS MUST BE COLLECTED AT THE BASIN OUTFALL (TO MEASURE CLARITY OF BASIN EFFLUENT), UPSTREAM OF THE DISCHARGE POINT (TO MEASURE STREAM IMPACTS OF BASIN EFFLUENT) WHEN POSSIBLE. THE RESULTS MUST BE LOGGED IN THE INSPECTION REPORTS.



**EROSION CONTROL PHASE 2**

NOTE: ALL TEMPORARY DIVERSIONS SHALL HAVE SC 150 EROSION CONTROL MATTING.

- 1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- 2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY.
- 3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
- 4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 108 SUBPART P, OR AS AMENDED.



**APPROVED FOR CONSTRUCTION**  
GATEWAY DESIGN GROUP, PLLC  
8516 FOXBRIDGE DR WEDDINGTON, NC 28157  
910-840-2661  
NC FIRM # P-2147

**LUCY HOMES**  
6112 TUCKASEEGEE ROAD TOWNHOMES  
PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT #: 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB  
TITLE: EROSION CONTROL PLAN PHASE 3  
SHEET NO: **C-3.2**

**FINAL APPROVAL** 8/9/2023

**CHARLOTTE** GENERAL PROJECT NUMBER: **SDRMF-2023-00027**

**ENGINEERING** PER POSTS 2 FEET  
PCSO / DETENTION / DRAINAGE PLAN ROUNDING

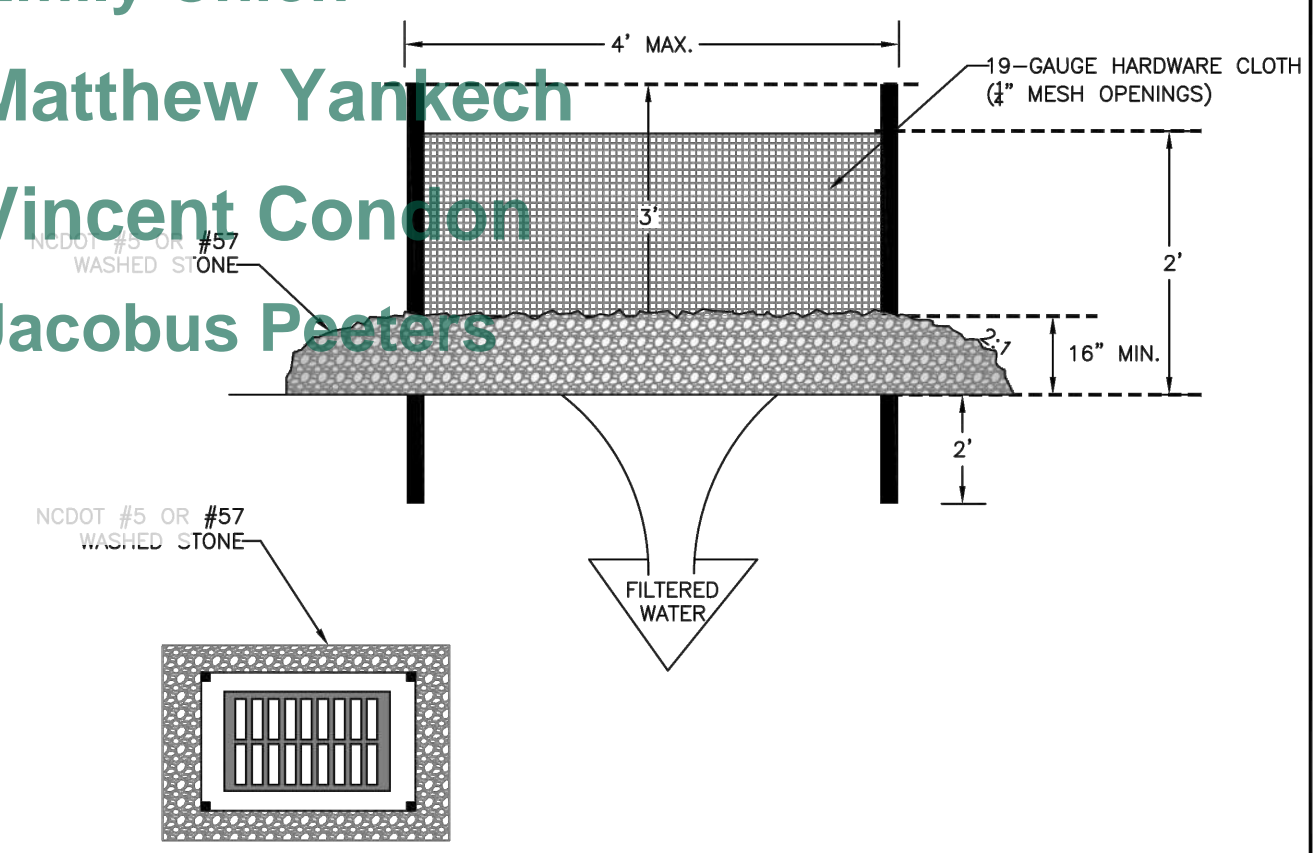
**EROSION CONTROL**

**URBAN FORESTRY**

**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlotte.gov/ld>

**Emily Chien**  
**Matthew Yankech**  
**Vincent Condon**  
**Jacobus Peeters**

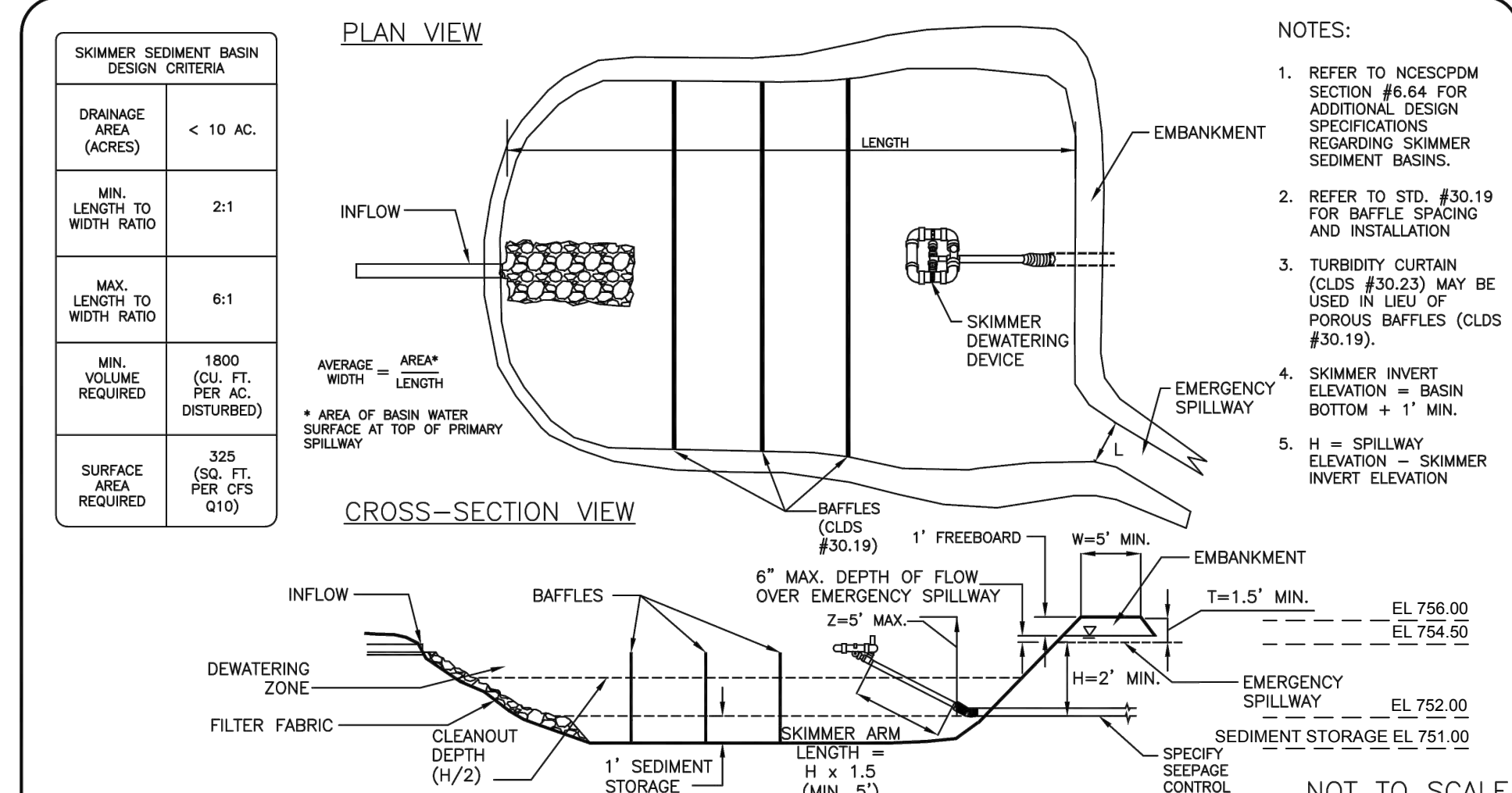


- COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.

**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**HARDWARE CLOTH AND GRAVEL INLET PROTECTION**

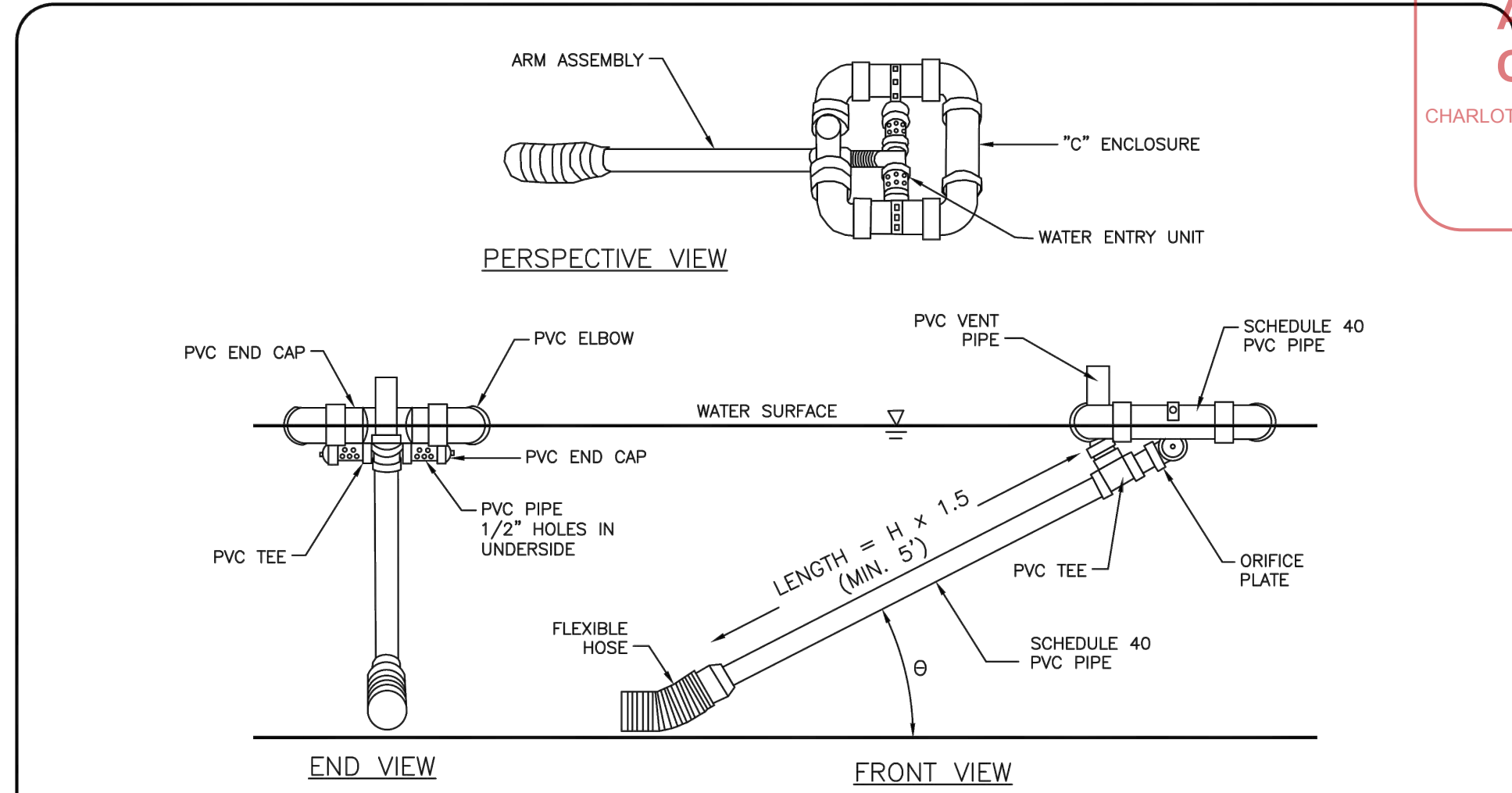
STD. NO. 30.09 REV. 1



**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**SKIMMER SEDIMENT BASIN**

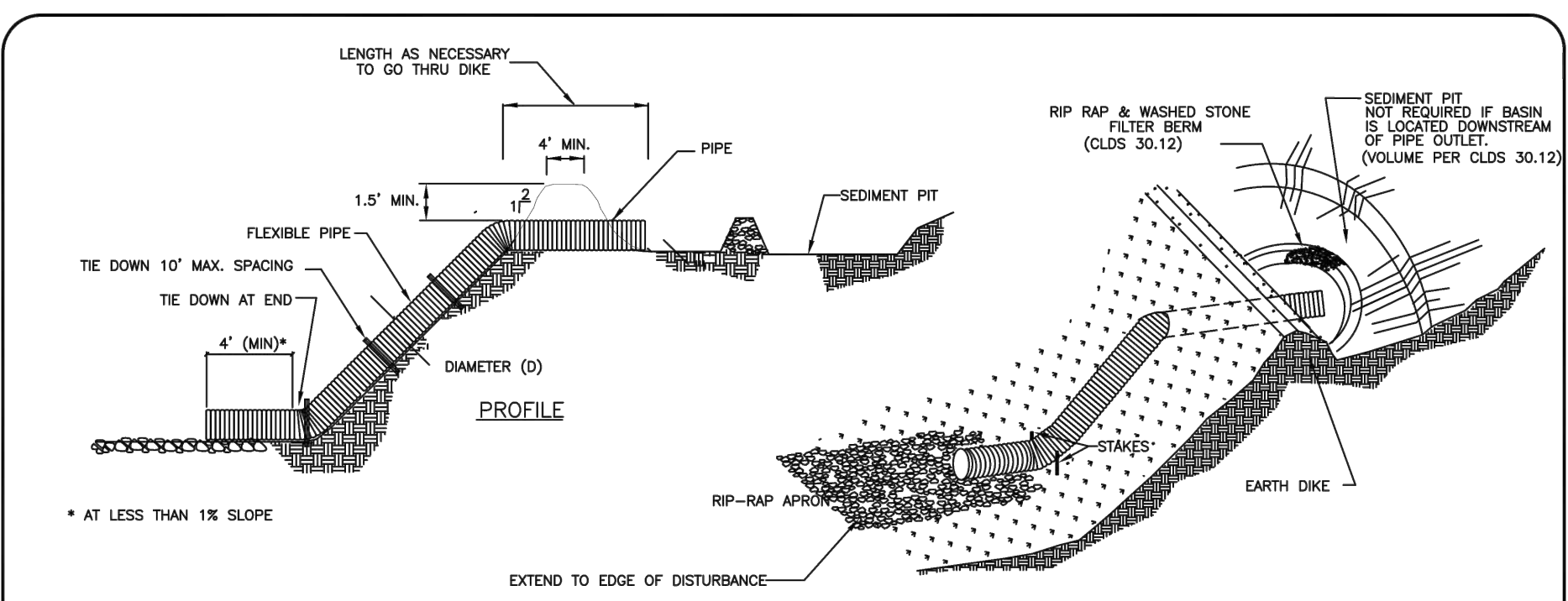
STD. NO. 30.02A REV. 22



**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**SKIMMER**

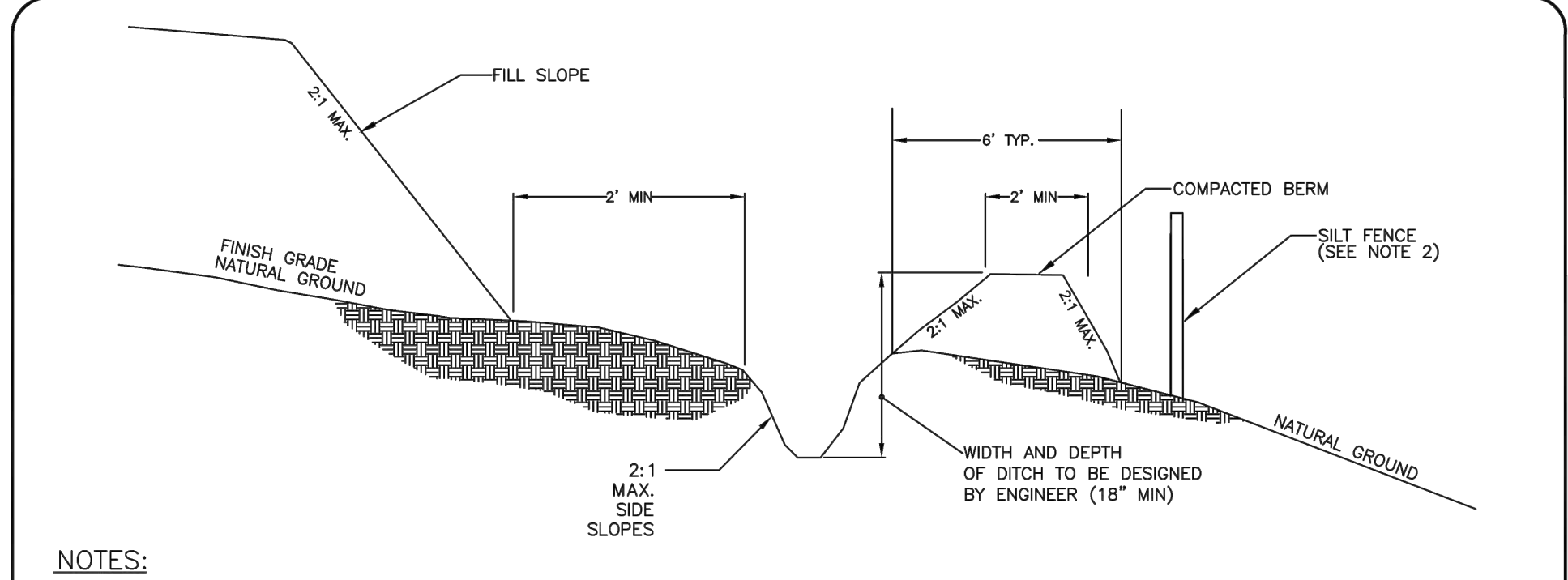
STD. NO. 30.02B REV. 12



**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**FLEXIBLE PIPE SLOPE DRAIN**

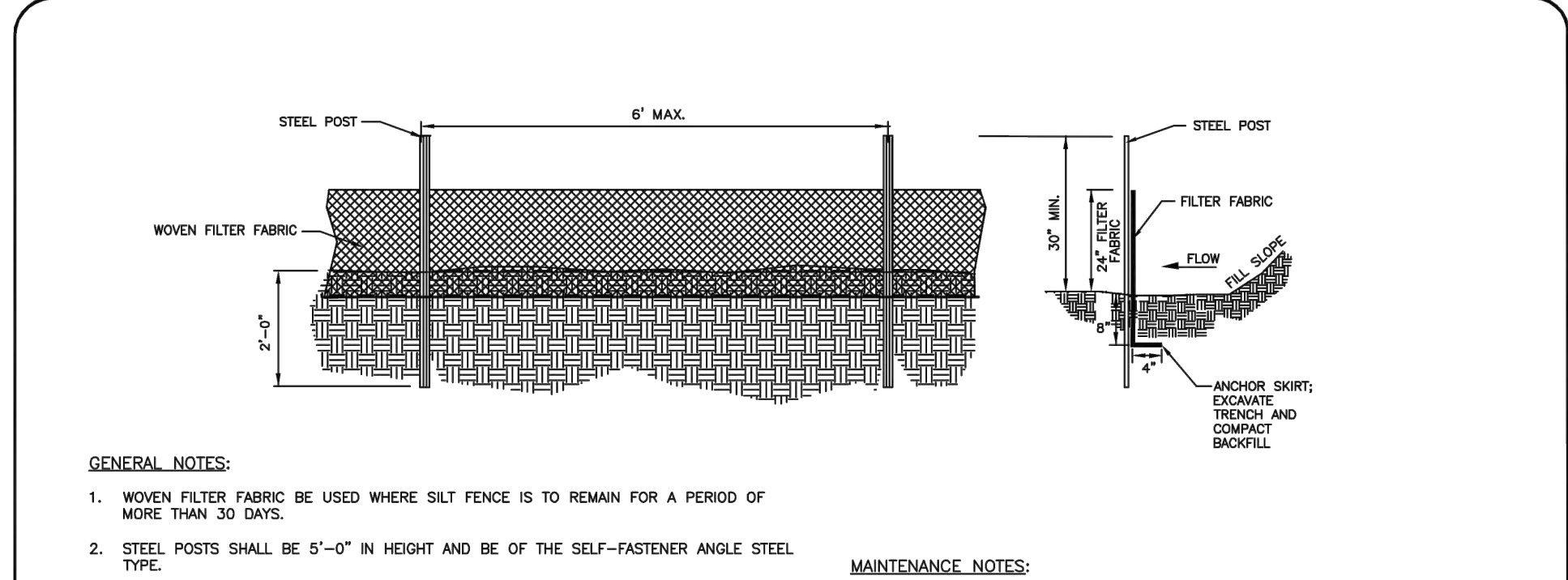
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**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**TEMPORARY SILT DITCH**

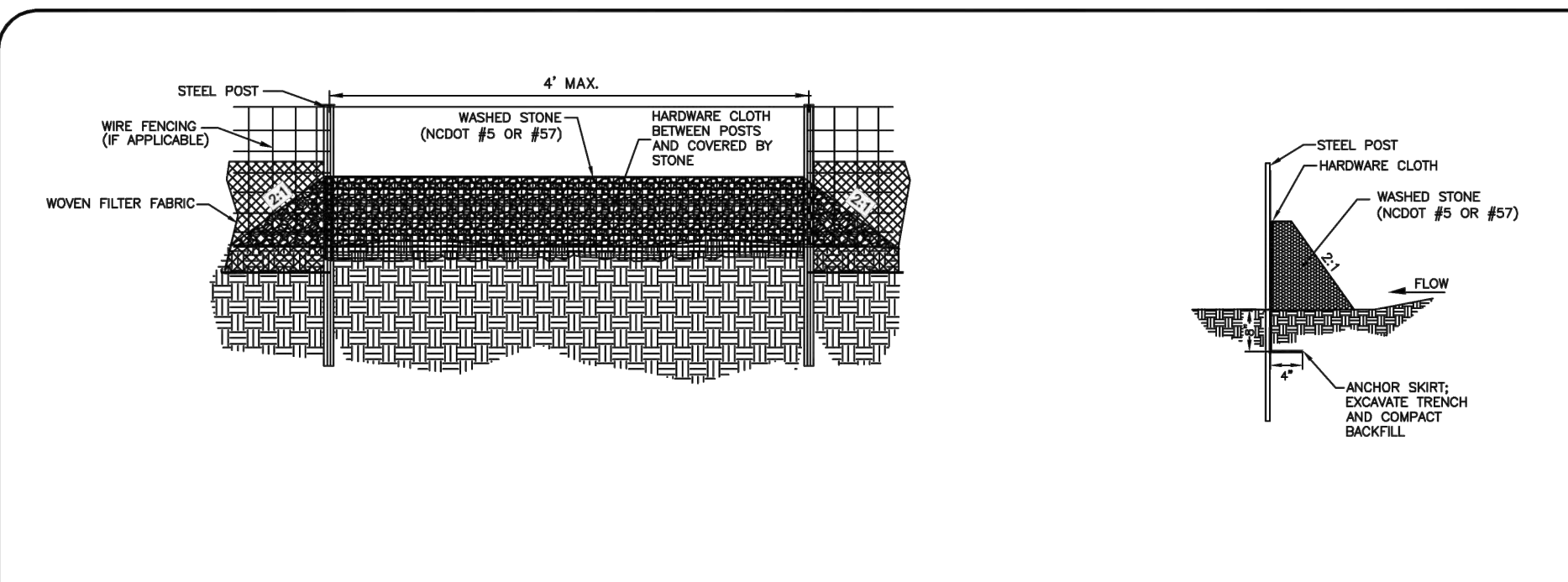
STD. NO. 30.05 REV. 20



**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**TEMPORARY SILT FENCE**

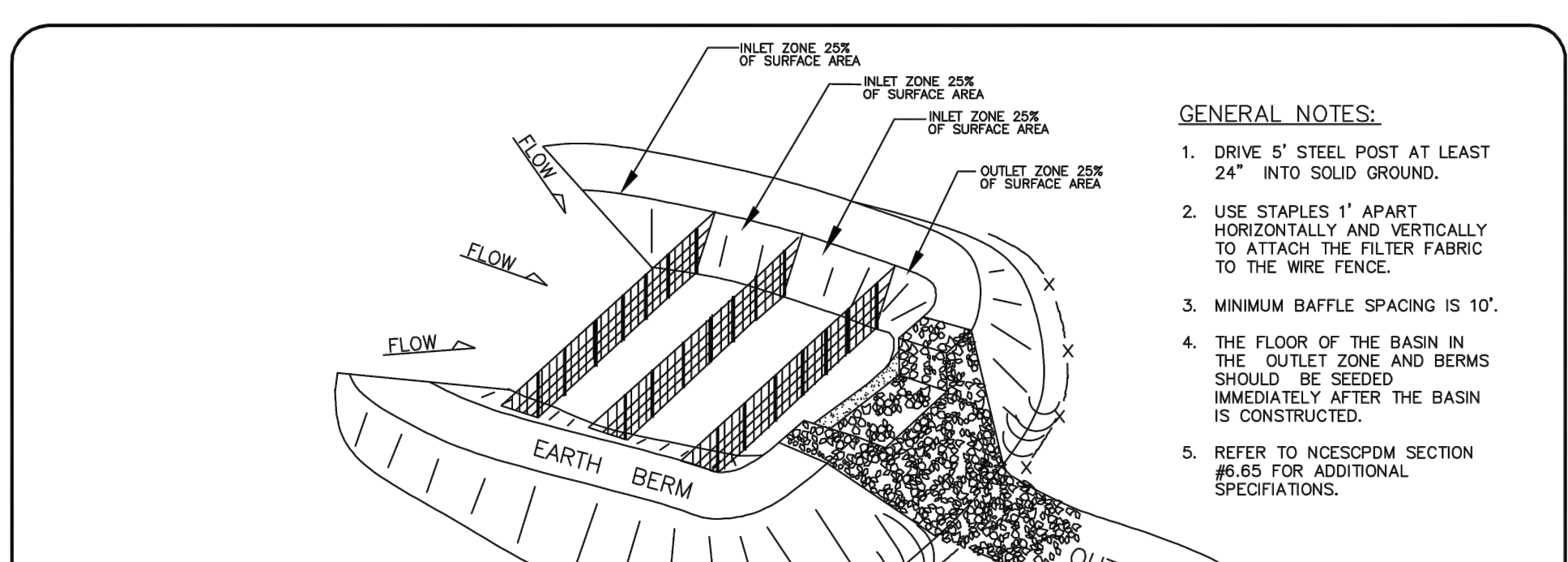
STD. NO. 30.06A REV. 15



**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**SILT FENCE OUTLET**

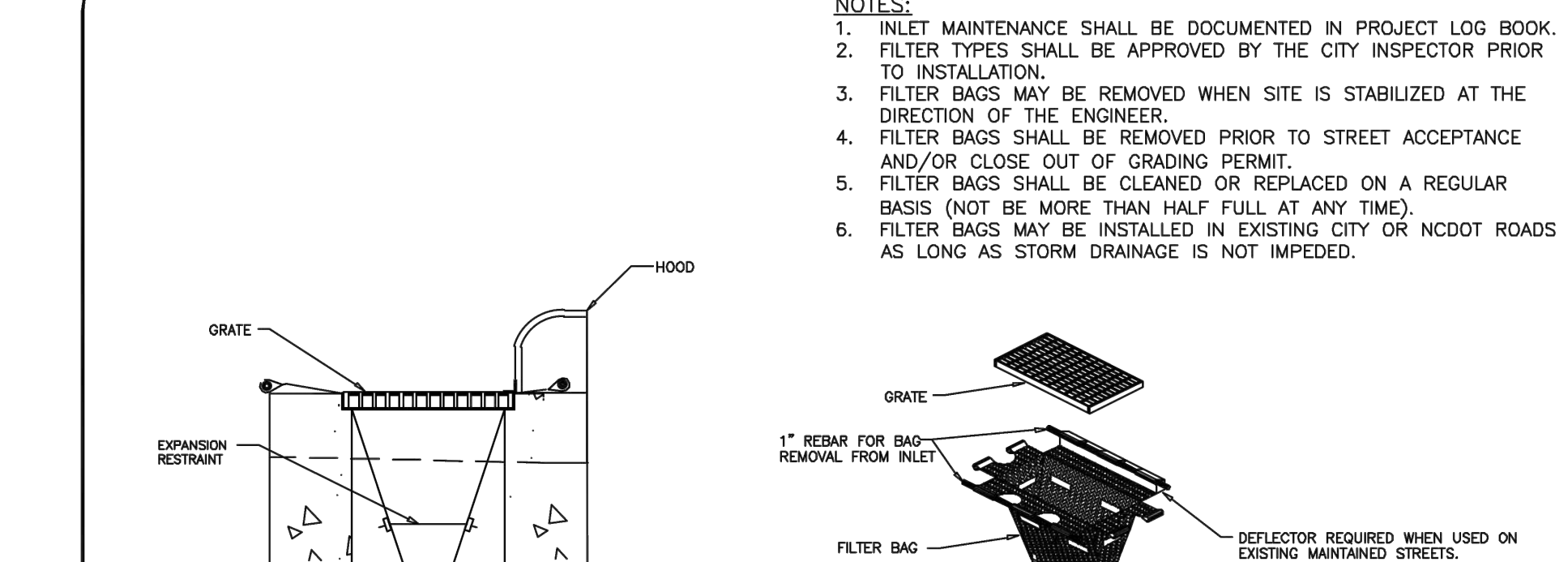
STD. NO. 30.06C REV. 15



**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**BAFFLE INSTALLATION**

STD. NO. 30.19 REV. 15



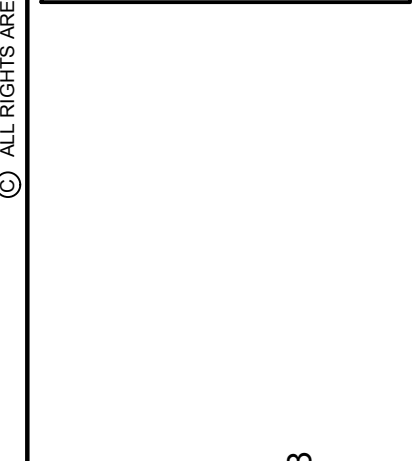
**CITY OF CHARLOTTE** LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**CATCH BASIN INLET PROTECTION**

STD. NO. 30.15 REV. 13

**APPROVED FOR CONSTRUCTION**  
CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
John W. ...  
08/02/2023

**GATEWAY DESIGN GROUP, PLLC**  
8516 FOXBRIDGE DR WEDDINGTON, NC 28158  
910-840-2861  
NC FIRM # P-2147



**LUCY HOMES**  
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PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT #: 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB

TITLE: **EROSION CONTROL DETAILS**

SHEET NO. **C-3.3**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT http://charlottenc.gov/ld

Table with 3 columns: Item, Frequency, and Description. Includes items like E-1 E-2 E-3 E-4 E-5 E-6.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

Table with 2 columns: Item to Document and Documentation Requirements. Includes sections for E-1 E-2 E-3 E-4 E-5 E-6.

Table with 2 columns: Occurrence and Reporting Timeframes and Other Requirements. Includes sections for (a) Visible sediment, (b) Oil spills, (c) Anticipated bypasses, (d) Noncompliance.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT. Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT. Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit.

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, and Timeframe variations. Includes rows for perimeter dikes, high quality water, slopes, and areas with slopes.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity.

Table with 2 columns: Temporary Stabilization and Permanent Stabilization. Lists various materials and methods for ground stabilization.

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS
1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.

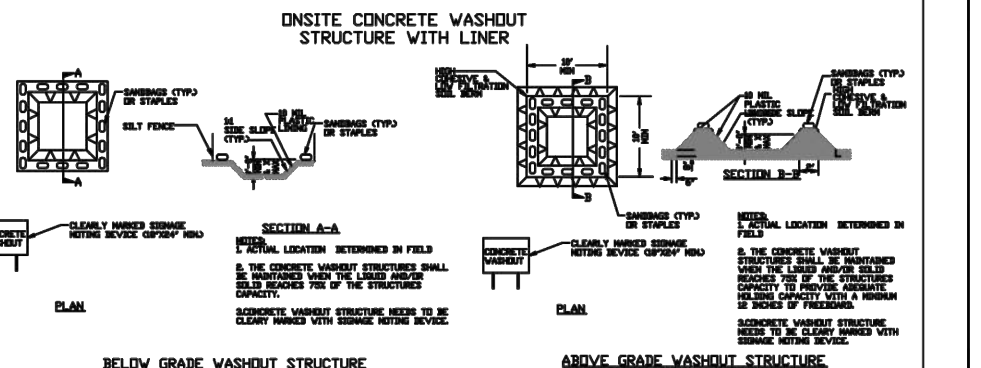
- EQUIPMENT AND VEHICLE MAINTENANCE
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE
1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.

- PAINT AND OTHER LIQUID WASTE
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.

- PORTABLE TOILETS
1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high traffic areas.

- EARTHEN STOCKPILE MANAGEMENT
1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.

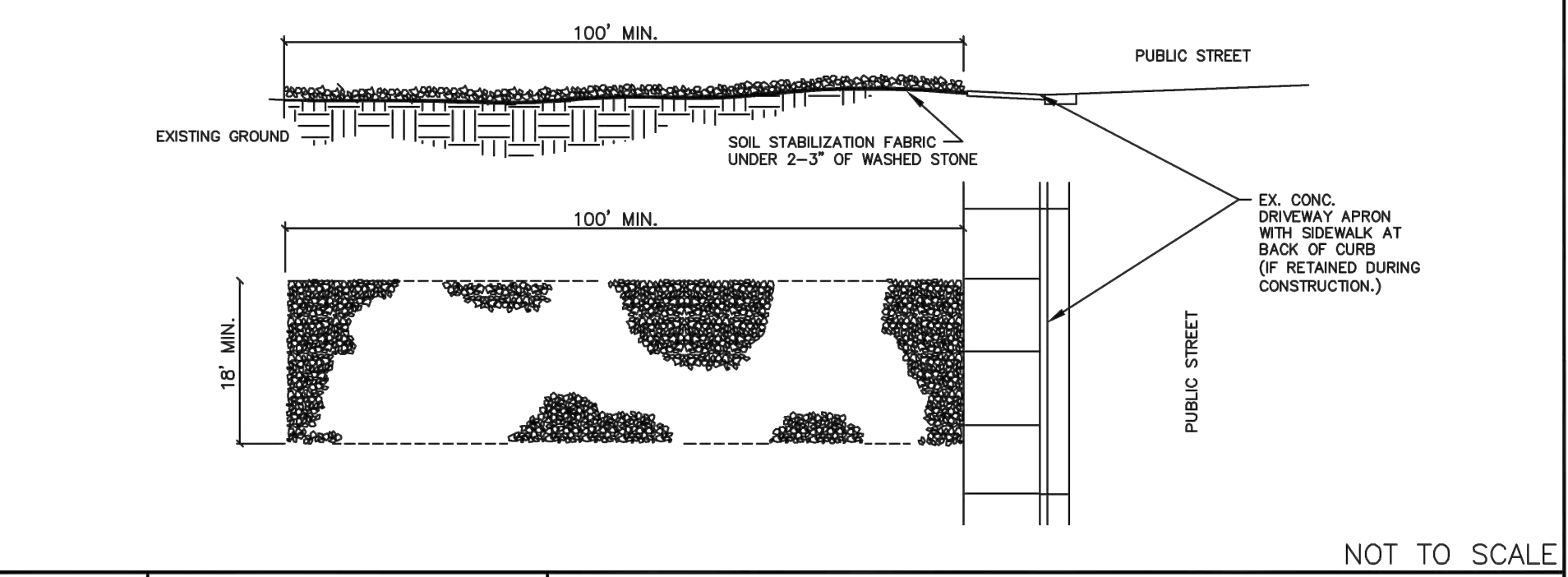


- CONCRETE WASHOUTS
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.

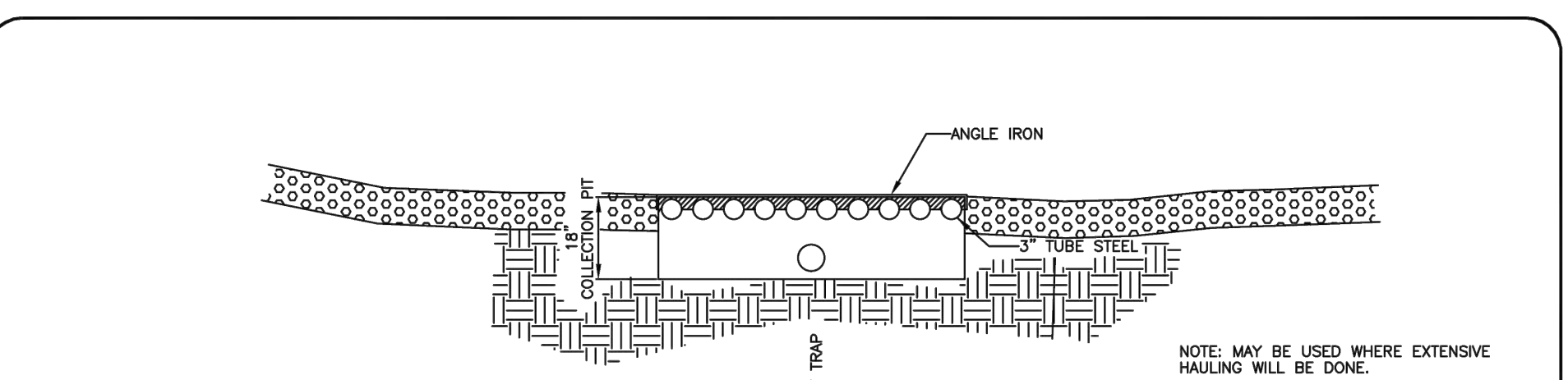
- HERBICIDES, PESTICIDES AND RODENTICIDES
1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.

- HAZARDOUS AND TOXIC WASTE
1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

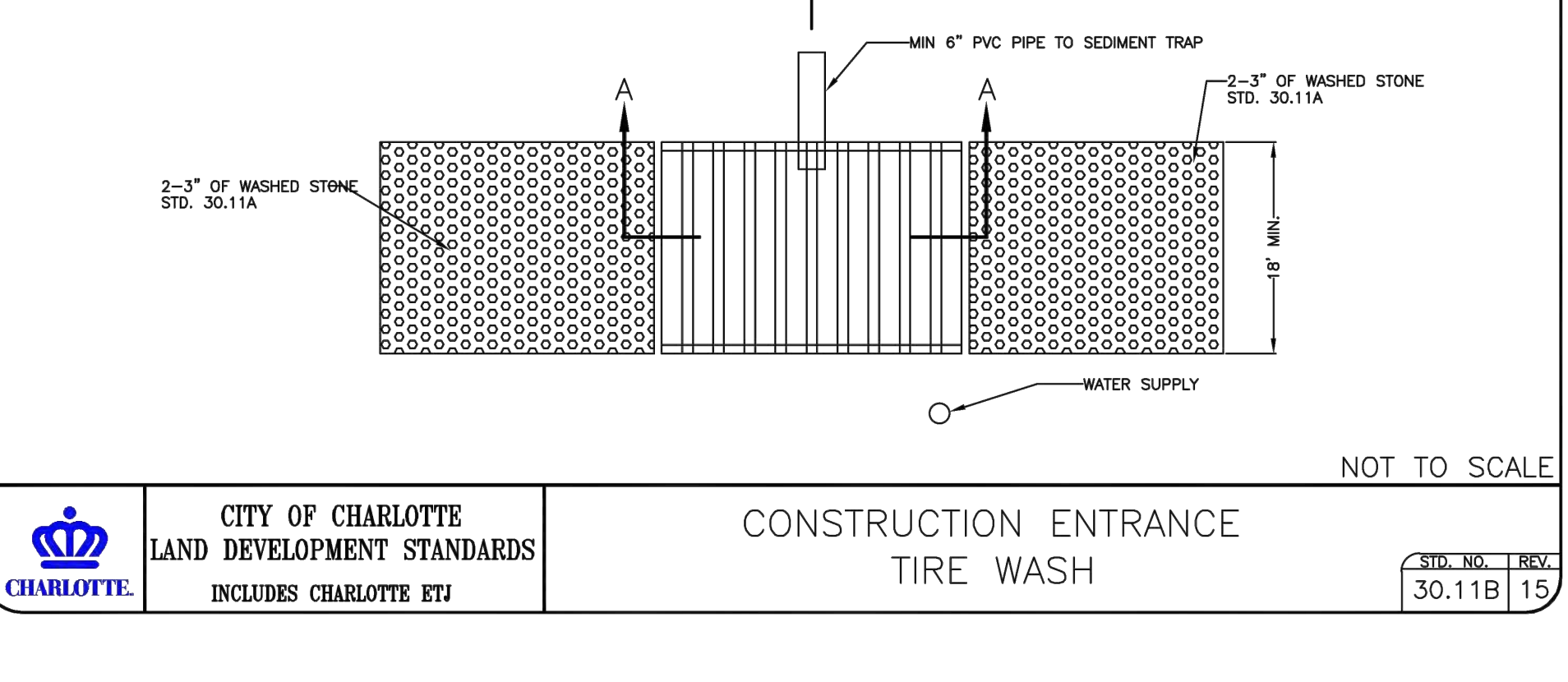
- NOTES:
1. A STABILIZED ENTRANCE PAD OF 2-3" OF WASHED STONE AND/OR RAILROAD BALLAST SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
2. FILTER FABRIC OR COMPACTED CRUSHER RUN STONE SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.



CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE ETJ STABILIZED CONSTRUCTION ENTRANCE STD. NO. 30.11A REV. 15



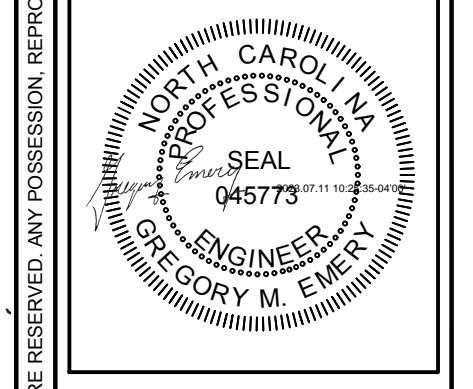
CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE ETJ CONSTRUCTION ENTRANCE TIRE WASH STD. NO. 30.11B REV. 15



CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE ETJ EMBANKMENT MATTING DETAIL STD. NO. 30.20 REV. 1

APPROVED FOR CONSTRUCTION

GATEWAY DESIGN GROUP, PLLC 8516 FOXBRIDGE DR WEDDINGTON, NC 28154



LUCY HOMES 6112 TUCKASEEGEE ROAD TOWNHOMES PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

Table with columns for Revision, No., By, Date, and a grid for tracking changes.

**ENGINEERING**  
 PCSO / DETENTION / DRAINAGE PLAN  
**EROSION CONTROL**  
**URBAN FORESTRY**  
**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

LEGEND:  
 - FGL FINISHED GRADE  
 - FFE FINISHED FLOOR ELEVATION  
 - LPE PAD ELEVATION

Emily Chien  
 Matthew Yankoch  
 Vincent Condol  
 Jacobus Peeters

**ADA ACCESSIBLE ROUTE INSTRUCTIONS TO CONTRACTOR**

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS INDICATED ON THIS SHEET. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH STATE AND FEDERAL ACCESSIBILITY RULES AND REGULATIONS. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH ADA & NORTH CAROLINA BUILDING CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

**CURB RAMPS** - SLOPE SHALL NOT EXCEED 8.3% FOR A MAXIMUM OF SIX (6) FEET

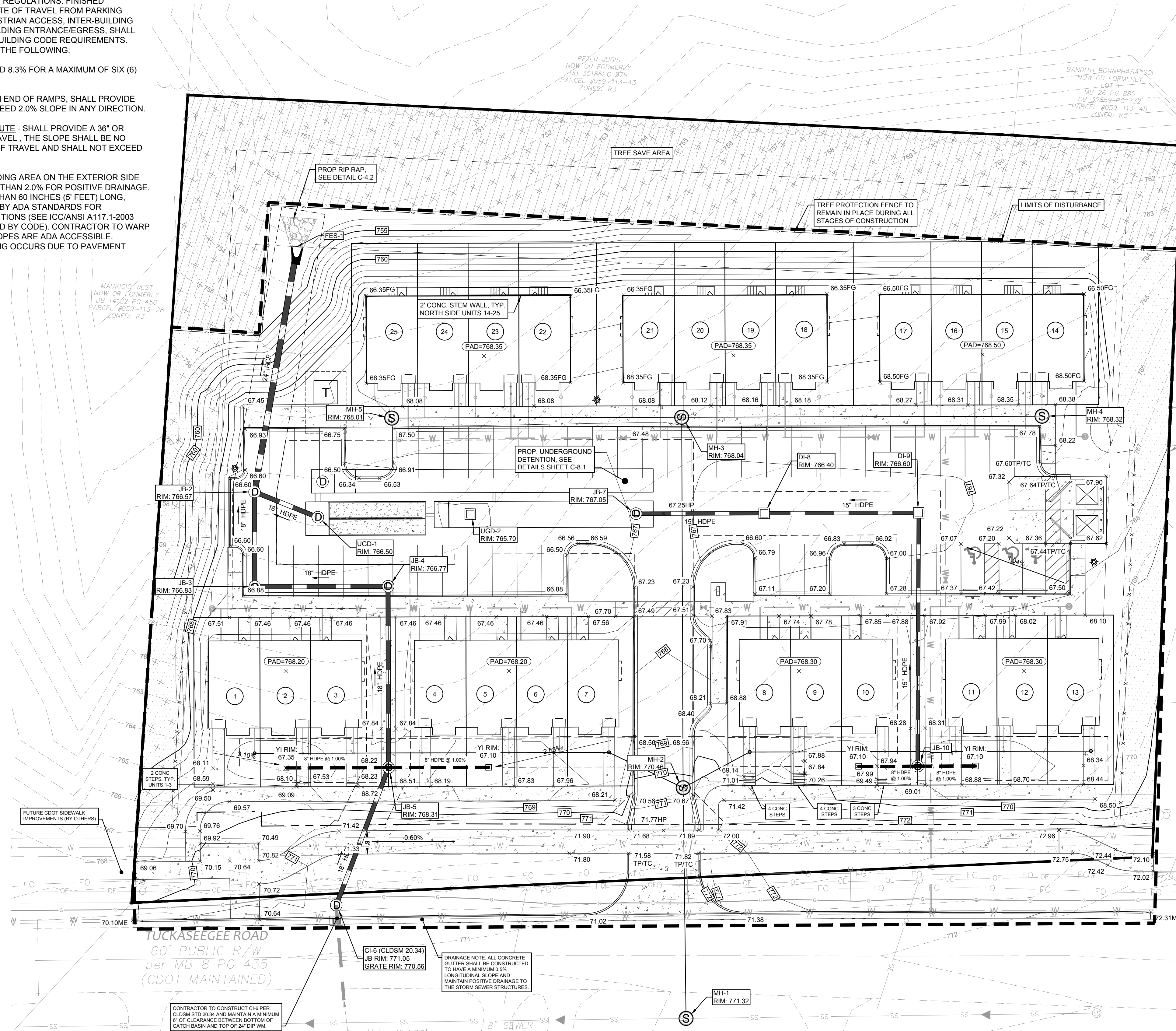
LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS. SHALL PROVIDE POSITIVE DRAINAGE AND SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.

PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36" OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL , THE SLOPE SHALL BE NO GREATER THAN 5.0% IN THE DIRECTION OF TRAVEL AND SHALL NOT EXCEED 2.0% IN CROSS SLOPE.

DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 2.0% FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCES INCORPORATED BY CODE). CONTRACTOR TO WARP ASPHALT AS NECESSARY TO ENSURE SLOPES ARE ADA ACCESSIBLE. CONTRACTOR SHALL ENSURE NO PONDING OCCURS DUE TO PAVEMENT MODIFICATIONS.

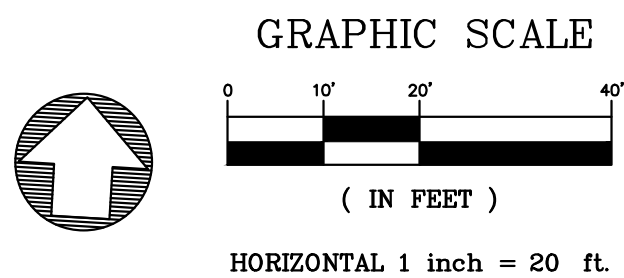
**STORM SEWER GENERAL NOTES:**

- REFER TO NCDOT STD DETAILS 300.01 FOR METHOD OF STORM PIPE INSTALLATION.
  - CURB INLET RIM ELEVATIONS ARE MEASURED AT CENTER LIP OF EDGE OF PAVEMENT. ALL GRATED DROP INLET RIM ELEVATIONS ARE MEASURED AT TOP OF GRATE. ALL SLAB DROP INLET RIM ELEVATIONS ARE MEASURED AT BOTTOM OF THROAT OPENING.
  - ALL FLARED END SECTIONS SLOPE AND ORIENTATION ARE TO BE THE SAME AS THE ATTACHED OUTLET PIPE. THE LENGTH OF ALL FLARED END SECTIONS ARE INCLUDED IN THE OUTLET PIPE'S LENGTH.
  - FOR JB, INSTALL NCDOT STRUCTURE 840.31 WITH OPTIONAL MH FRAME AND GRATE (NCDOT 840.54).
  - ALL CURB INLETS (CI) SHALL BE PER NCDOT DETAIL 840.01, 840.02 & 840.03 (BRICK/CONCRETE) INLET WITH CAST IRON GRATE AND HOOD, UNLESS NOTED OTHERWISE. ALL DROP INLETS (DI) SHALL BE SLAB TYPE INLETS PER NCDOT DETAIL 840.04/840.05, UNLESS NOTED OTHERWISE. ALL HEADWALLS (HW) SHALL BE PER CHARLOTTE DETAIL 20.17A, UNLESS NOTED OTHERWISE.
- GRADING PLAN GENERAL NOTES:**
- GRADING MORE THAN ONE ACRE WITHOUT A PERMIT IS A VIOLATION AND SUBJECT TO FINES. GRADING AREAS OUTSIDE THE LIMITS SHOWN IS A VIOLATION AND IS SUBJECT TO FINES.
  - ALL PROPOSED CONTOURS REFLECT FINISHED GRADES.
  - ALL SPOT ELEVATIONS REPRESENT TOP OF PAVEMENT UNLESS OTHERWISE NOTED - SEE LEGEND.
  - ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
  - DO NOT WILLFULLY PROCEED WITH CONSTRUCTION OF DESIGN WHEN OBSTRUCTIONS OR GRADE DISCREPANCIES EXIST THAT CONFLICT WITH THE INFORMATION SHOWN ON THE EXISTING CONDITIONS AND PROPOSED PLANS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE FOR RESOLUTION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, AND WASHOUT.
  - THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT.
  - ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
  - ALL SLOPES SHALL BE NO STEEPER THAN 2:1, UNLESS NOTED OTHERWISE.
  - COORDINATE APPROPRIATE SLOPE STABILIZATION ON ALL SLOPES STEEPER THAN 2:1 WITH PROJECT GEOTECHNICAL ENGINEER.
  - CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  - LIMITS OF CLEARING SHOWN ARE ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS OR OTHER GRADING REQUIREMENTS.
  - IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON ALL GUTTERS/SILOW LINES.
  - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  - ALL GRADING EARTHWORK IS SUBJECT TO 95% MIN. COMPACTION AND STANDARD CHARLOTTE AND NCDOT SPECIFICATIONS. FILL MATERIALS, EXACT COMPACTION RATE, MOISTURE CONTENT, AND METHODOLOGY ARE TO BE RECOMMENDED, TESTED, AND CERTIFIED BY GEOTECHNICAL ENGINEER. THIS ALSO APPLIES TO ALL PONDS EMBANKMENTS. PRE-SUBMITTAL MEETING WITH CITY INSPECTOR AND GEOTECHNICAL ENGINEER IS REQUIRED PRIOR TO ANY EMBANKMENT WORK.
  - CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  - CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER OR ENGINEER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
  - TOP 12" OF SUBGRADE OF BUILDING PADS TO BE COMPACTED TO MINIMUM 100% OF STD. PROCTOR MAXIMUM DRY DENSITY.
  - SUBGRADE OF ROADS TO BE PROOF ROLLED PRIOR TO STONE PLACEMENT.
  - ABC STONE TO BE COMPACTED TO 100% OF STD. PROCTOR.
  - BITUMINOUS PAVEMENT BASE COURSE TO BE COMPACTED TO A DENSITY OF 92%. BITUMINOUS PAVEMENT INTERMEDIATE COURSE SHALL BE COMPACTED TO A DENSITY OF 92%. BITUMINOUS SURFACE COURSE TO BE COMPACTED TO A DENSITY OF 92%.
  - ALL CONCRETE FOR SIDEWALKS AND CURBS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. THE CONCRETE MIX AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS.
  - ALL CATCH BASINS, DROP INLETS, AND JUNCTION BOXES SHALL BE CONSTRUCTED PER CITY OF CHARLOTTE STANDARDS.
  - RETAINING WALL DESIGN TO BE PROVIDED BY CONTRACTOR'S WALL DESIGN ENGINEER. RETAINING WALL DRAWINGS TO BE PROVIDED TO ENGINEER FOR REVIEW AND APPROVAL.



- YARD INLET NOTES:**
- YARD INLETS SHALL BE MINIMUM 18"x18" NYLOPLAST DRAINAGE BASIN OR APPROVED EQUIVALENT.
  - ALL YARD INLET PIPING TO BE INSTALLED AT MINIMUM 1.00% SLOPE AND MAINTAIN POSITIVE DRAINAGE TO THE INTO STORM SEWER NETWORK.
  - YARD INLET PIPING SHALL BE INSTALLED AT A MINIMUM 18" BELOW FINISHED GRADE.
  - DOWNSPOUTS PIPING SHALL BE MIN. 8" HDPE

**UTILITY RELOCATION NOTE:**  
 ALL PUBLIC UTILITY RELOCATION, IF REQUIRED, (GAS, COMMUNICATIONS, ELECTRIC) SHALL REQUIRE PERMISSIONS FROM THE UTILITY PROVIDER AND BE COORDINATED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.



APPROVED FOR CONSTRUCTION  
 CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
 John W. [Signature]  
 08/02/2023

**GATEWAY DESIGN GROUP, PLLC**  
 8516 FOXBRIDGE DR WEDDINGTON, NC 28154  
 910-840-2661  
 NC FIRM # P-2147

Professional Engineer Seal for Gregory M. Emery, License # 045773, State of North Carolina.

**LUCY HOMES**  
 6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

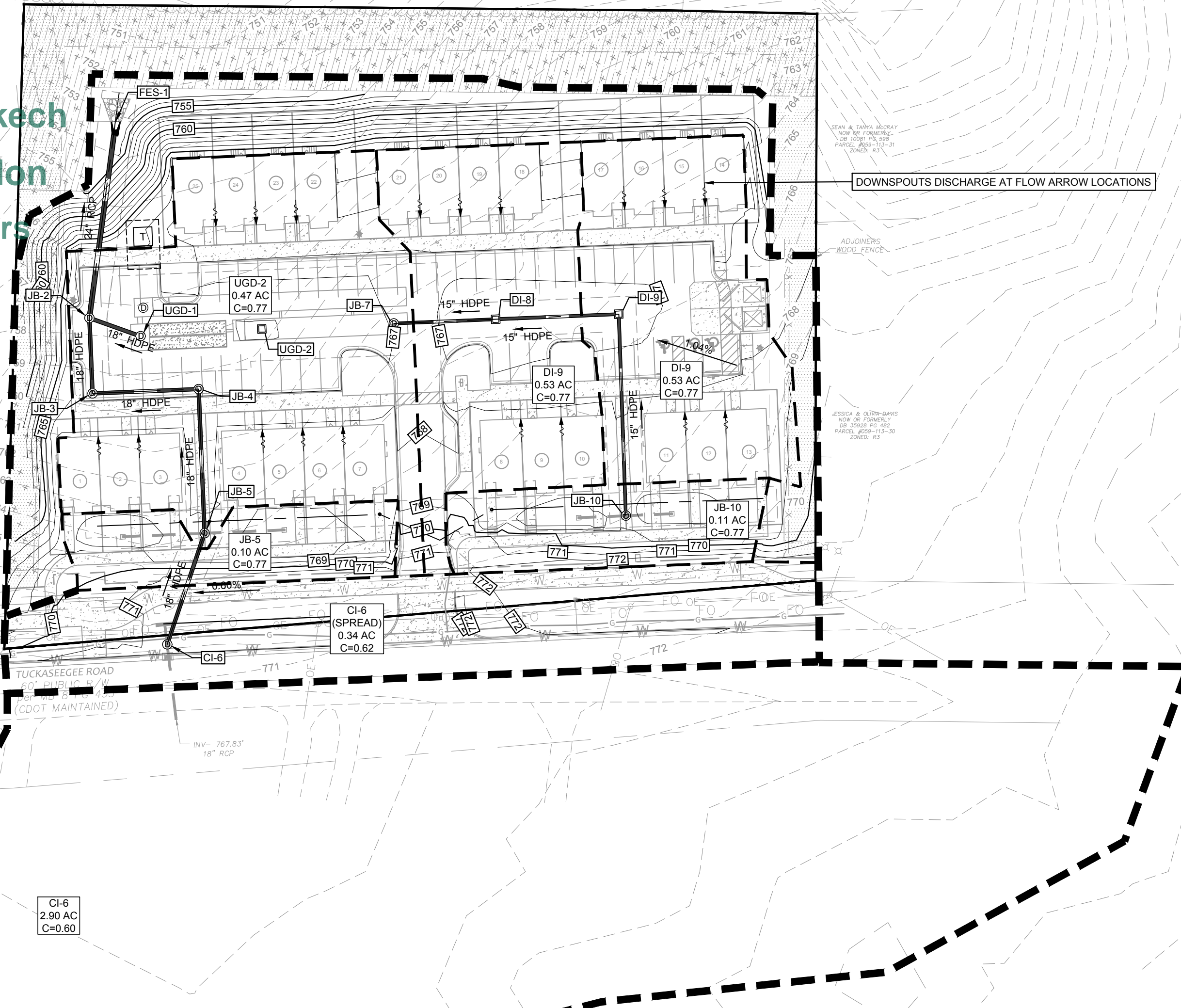
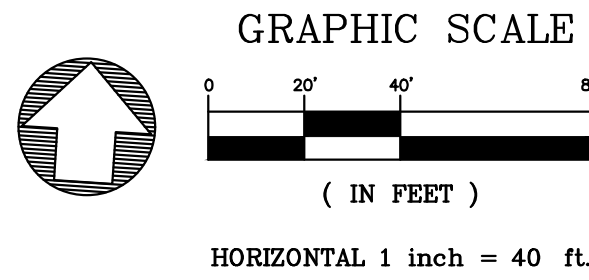
PROJECT #: 2022-020 DATE: 07/10/2023  
 DRAWN BY: GME CHECKED BY: JB  
 TITLE: GRADING PLAN  
 SHEET NO: **C-4.0**

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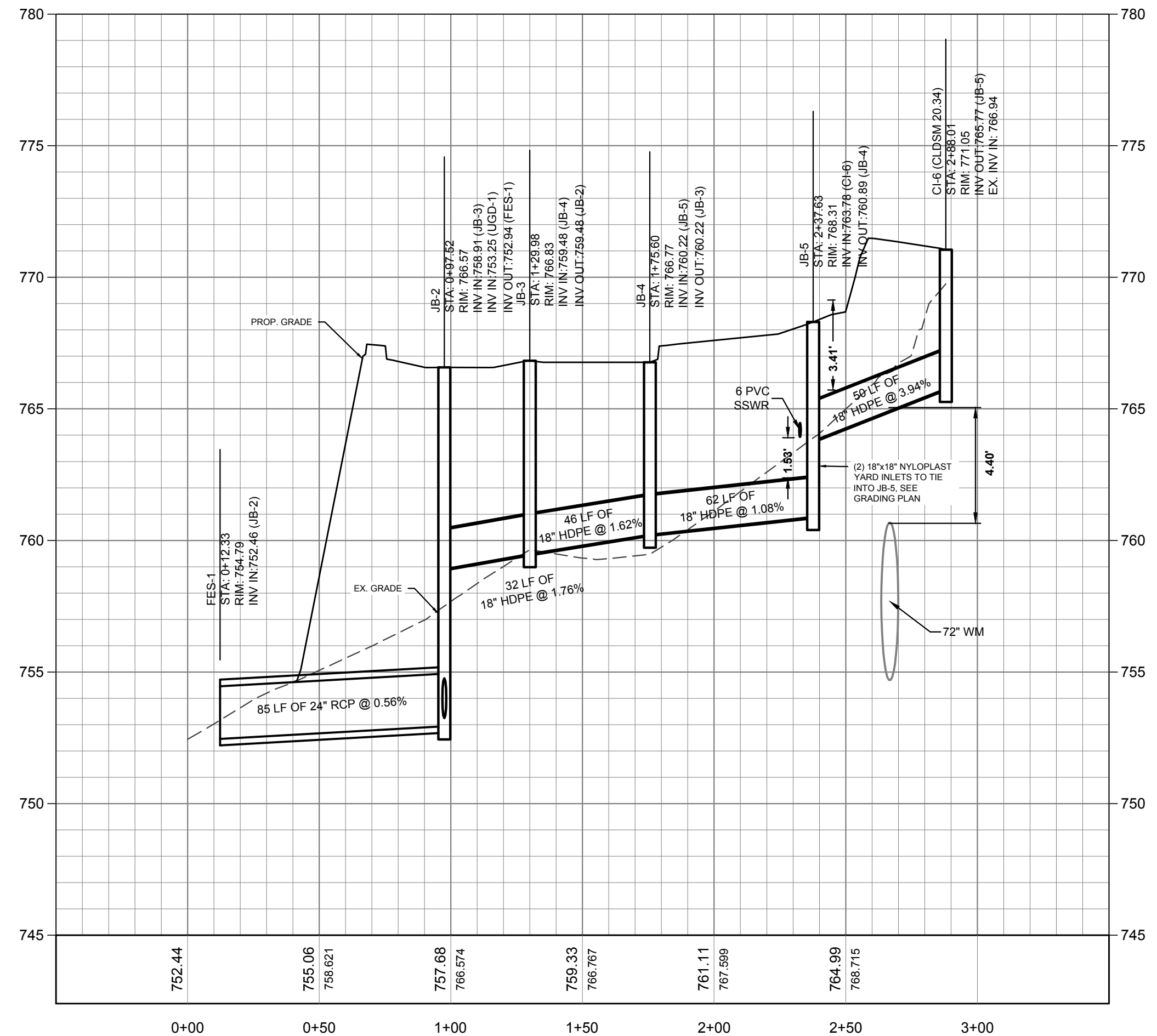
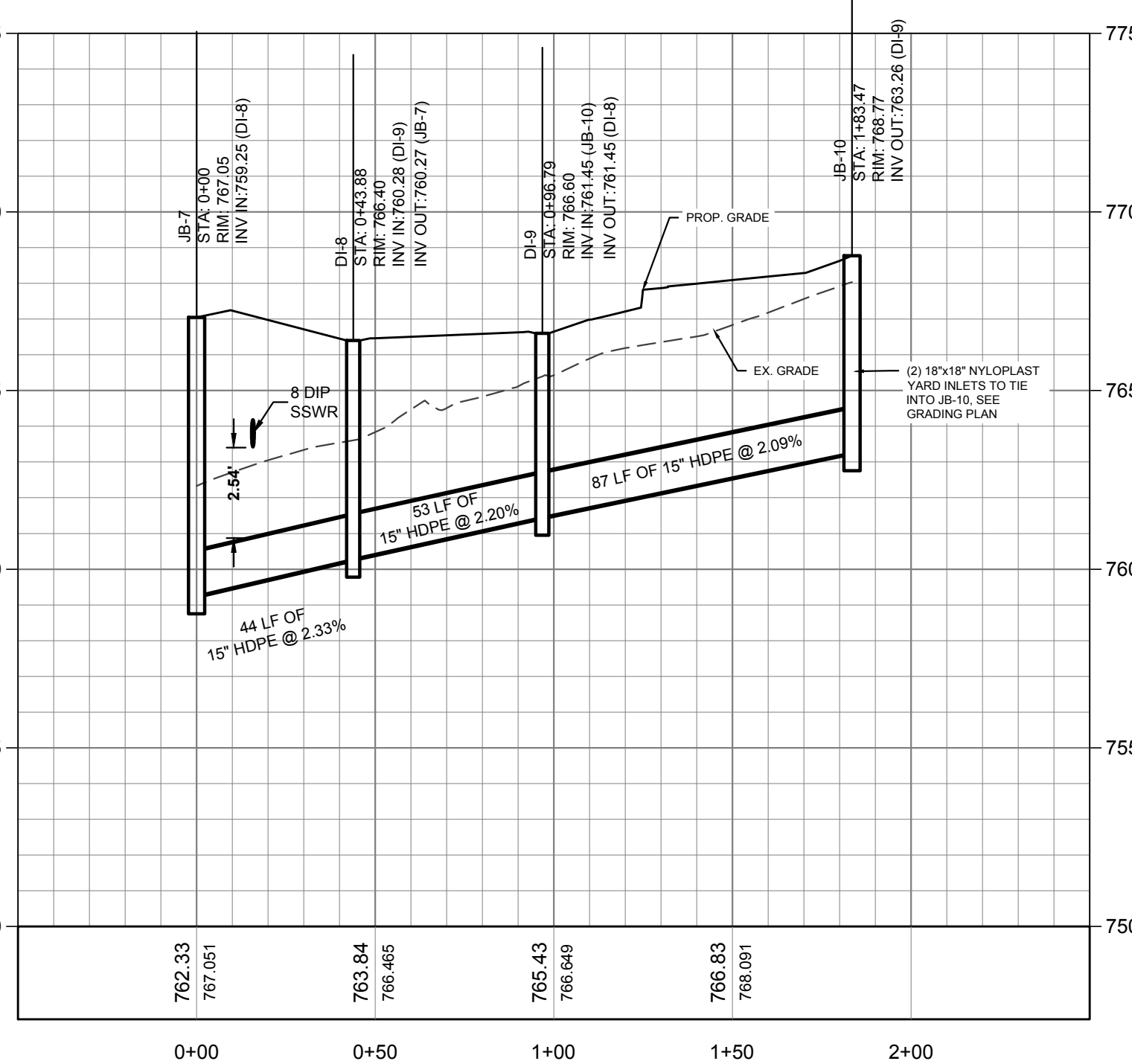
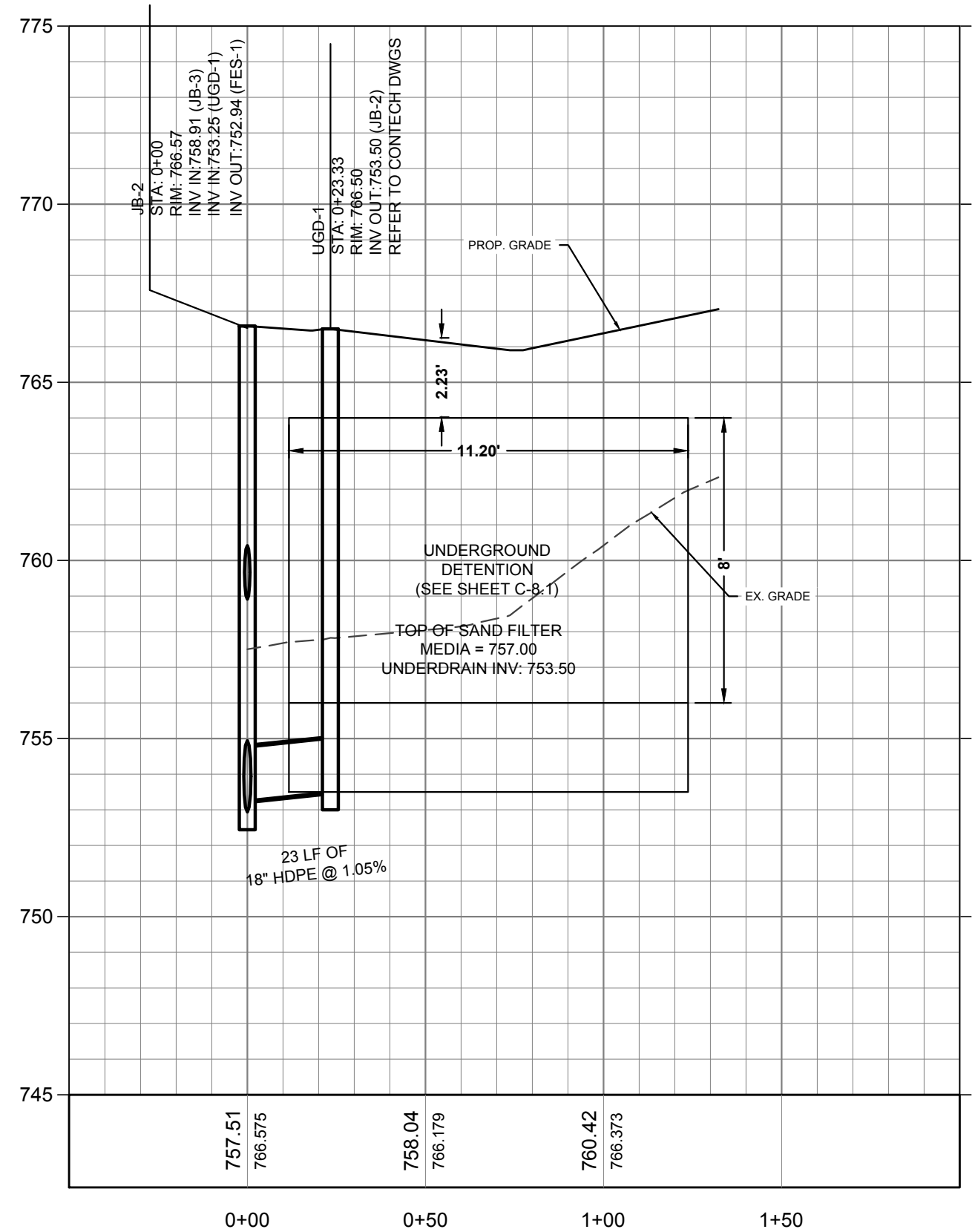
**ENGINEERING** Emily Chien  
**EROSION CONTROL** Matthew Yankech  
**URBAN FORESTRY** Vincent Condon  
**CDOT** Jacobus Peeters

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/development>

MEASUREMENTS SHALL BE MEASURED AT CENTER LINE OF EDGE OF PAVEMENT. ALL GRADED DROPS SHALL BE MEASURED AT TOP OF GRADE. ALL INLET RIM ELEVATIONS ARE MEASURED AT BOTTOM OF THROAT OPENING. ORIENTATION ARE TO BE INDICATED BY AN ARROW IN THE OUTLET PIPES.



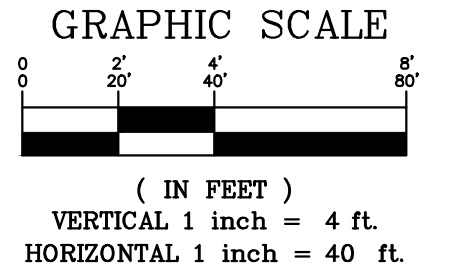
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
CI-6 CLDSM 20.34	4' DIA. MANHOLE RIM: 771.05 INV OUT: 765.77		TO JB-5, 18" HDPE INV OUT: 765.77 @ 3.94%
DI-8	DROP INLET RIM: 766.40 INV IN: 760.28 INV OUT: 760.27	FROM DI-9, 15" HDPE INV IN: 760.28 @ 2.20% FROM EX PIPE, 18" RCP INV IN: 766.66	TO JB-7, 15" HDPE INV OUT: 760.27 @ 2.33%
DI-9	DROP INLET RIM: 766.60 INV IN: 761.45 INV OUT: 761.45	FROM JB-10, 15" HDPE INV IN: 761.45 @ 2.09%	TO DI-8, 15" HDPE INV OUT: 761.45 @ 2.20%
FES-1	MES RIM: 754.79 INV IN: 752.46	FROM JB-2, 24" RCP INV IN: 752.46 @ 0.56%	
JB-2	4' DIA. MANHOLE RIM: 766.57 INV IN: 758.91 INV IN: 753.25 INV OUT: 752.94	FROM JB-3, 18" HDPE INV IN: 758.91 @ 1.76% FROM UGD-1, 18" HDPE INV IN: 753.25 @ 1.05%	TO FES-1, 24" RCP INV OUT: 752.94 @ 0.56%
JB-3	4' DIA. MANHOLE RIM: 766.83 INV IN: 759.48 INV OUT: 759.48	FROM JB-4, 18" HDPE INV IN: 759.48 @ 1.62%	TO JB-2, 18" HDPE INV OUT: 759.48 @ 1.76%
JB-4	4' DIA. MANHOLE RIM: 766.77 INV IN: 760.22 INV OUT: 760.22	FROM JB-5, 18" HDPE INV IN: 760.22 @ 1.08%	TO JB-3, 18" HDPE INV OUT: 760.22 @ 1.62%
JB-5	4' DIA. MANHOLE RIM: 768.31 INV IN: 763.78 INV OUT: 760.89	FROM CI-6, 18" HDPE INV IN: 763.78 @ 3.94%	TO JB-4, 18" HDPE INV OUT: 760.89 @ 1.08%
JB-7	4' DIA. MANHOLE RIM: 767.05 INV IN: 759.25	FROM DI-8, 15" HDPE INV IN: 759.25 @ 2.33%	
JB-10	4' DIA. MANHOLE RIM: 766.50 INV OUT: 763.26		TO DI-9, 15" HDPE INV OUT: 763.26 @ 2.09%
UGD-1	4' DIA. MANHOLE RIM: 766.50 INV OUT: 763.50		TO JB-2, 18" HDPE INV OUT: 763.50 @ 1.05%
UGD-2	DROP INLET RIM: 765.70		



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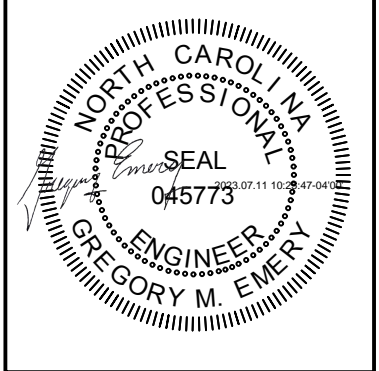


- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC., AS NECESSARY TO INSURE SAFETY.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



APPROVED FOR CONSTRUCTION  
 CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT OF PUBLIC WORKS  
 Jon W. W...  
 08/02/2023

**GATEWAY DESIGN GROUP, PLLC**  
 8516 FOXBRIDGE DR WEDDINGTON, NC 28134  
 910-840-2661  
 NC FIRM # P-2147



**LUCY HOMES**  
 6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT #: 2022-020 DATE: 07/10/2023  
 DRAWN BY: GME CHECKED BY: JB  
 TITLE: STORM SEWER PROFILES  
 SHEET NO.: **C-4.1**

EMILY CHIEN  
 EMILY CHIEN  
 MATTHEW FANKECH  
 MATTHEW FANKECH  
 VINCENT GONDON  
 VINCENT GONDON  
 JACOBUS PEETERS  
 JACOBUS PEETERS

DWG	SHEET TITLE	SPECIAL REQUIREMENTS AND NOTES
838.17	BRICK ENDWALL FOR SINGLE AND DOUBLE PIPE CULVERTS 40"x31"	NOTE 1
838.18	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.19	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.20	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.21	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.22	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.23	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.24	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.25	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.26	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.27	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.28	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.29	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.30	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.31	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.32	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.33	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.34	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.35	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.36	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.37	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.38	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.39	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.40	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1

NOTE 1: FOR ALL STRUCTURES - NCDOT REQUIRES CLASS B CONCRETE (2500PSI). THE CITY REQUIRES 3600 PSI CONCRETE STRENGTH @ 28 DAYS. 3600 PSI CONCRETE SHALL BE USED IN ALL CITY AND ETJ PROJECTS.

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

DWG	SHEET TITLE	SPECIAL REQUIREMENTS AND NOTES
838.41	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.42	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.43	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.44	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.45	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.46	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.47	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.48	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.49	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.50	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.51	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.52	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.53	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.54	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.55	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.56	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.57	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.58	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.59	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.60	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.61	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.62	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.63	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.64	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.65	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.66	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.67	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.68	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.69	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
838.70	THRU 66"x51" PIPE ARCH 90'SKEW	NOTE 1
840.00	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.01	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.02	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.03	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.04	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.05	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.06	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.07	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.08	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.09	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.10	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.11	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.12	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.13	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.14	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.15	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.16	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.17	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.18	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.19	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.20	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.21	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.22	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.23	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.24	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.25	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.26	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.27	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.28	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.29	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD
840.30	CONCRETE ENDWALL STANDARD DRAWINGS	NOTE 1 SEE CLDS 20.17 FOR SPLASH PAD

NOTE 1: FOR ALL STRUCTURES - NCDOT REQUIRES CLASS B CONCRETE (2500PSI). THE CITY REQUIRES 3600 PSI CONCRETE STRENGTH @ 28 DAYS. 3600 PSI CONCRETE SHALL BE USED IN ALL CITY AND ETJ PROJECTS.

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

DWG	SHEET TITLE	SPECIAL REQUIREMENTS AND NOTES
840.31	CONCRETE JUNCTION BOX WITH OPTIONAL MANHOLE 12" THRU 66" PIPE	NOTE 1: OPTIONAL MANHOLE IS REQUIRED
840.32	BRICK JUNCTION BOX 12" THRU 66" PIPE	NOTE 1: OPTIONAL MANHOLE IS REQUIRED
840.34	TRAFFIC BEARING JUNCTION BOX FOR USE WITH PIPES 42" AND UNDER	NOTE 1: OPTIONAL MANHOLE IS REQUIRED; AS MEASURED FROM BOTTOM OF TOP SLAB -- FOR JUNCTION BOX HEIGHT 0'-4" USE 8" THICK WALL. FROM 4'-8" HEIGHT TO 10' HEIGHT, USE 12" THICK WALL. IF PROPOSED MECHANICAL STRUCTURE EXCEEDS 12'-0" HEIGHT A SPECIAL DESIGN WILL BE REQUIRED
840.35	TRAFFIC BEARING DROP INLET FOR CAST IRON DUCTILE FRAME AND GRATES	NOT FOR USE IN PEDESTRIAN AREAS
840.37	STEEL GRATE AND FRAME	NOT FOR USE IN PEDESTRIAN AREAS
840.41	SPRING BOX CONCRETE OR BRICK	WAFFLE WALL IS NOT PERMITTED IN ROADWAY, PLANTING STRIPS, OR MEDIANS. ALL OPENINGS SHALL BE PRE-CAST
840.45	PRECAST DRAINAGE STRUCTURE (SOLID AND WAFFLE WALL)	WAFFLE WALL IS NOT PERMITTED IN ROADWAY, PLANTING STRIPS, OR MEDIANS. ALL OPENINGS SHALL BE PRE-CAST
840.46	TRAFFIC BEARING PRECAST DRAINAGE STRUCTURE	IF USED AS A CATCH BASIN SUPPORTING NCDOT 840.03 FRAME, GRATE, AND HOOD -- THE FLAT TOP SLAB ONLY ACCEPTABLE WHEN A 12" VERTICAL RISER CAN BE ACCOMMODATED ON TOP OF THE STRUCTURE (BETWEEN THE TOP OF FLAT TOP SLAB AND BOTTOM OF FRAME/GRADE)
840.51	BRICK MANHOLE 12" 36" PIPE	IF USED AS A CATCH BASIN SUPPORTING NCDOT 840.03 FRAME, GRATE, AND HOOD -- THE FLAT TOP SLAB ONLY ACCEPTABLE WHEN A 12" VERTICAL RISER CAN BE ACCOMMODATED ON TOP OF THE STRUCTURE (BETWEEN THE TOP OF FLAT TOP SLAB AND BOTTOM OF FRAME/GRADE)
840.52	PRECAST MANHOLE 4", 6" AND 8" DIAMETER 12" THRU 48" PIPE	IF USED AS A CATCH BASIN SUPPORTING NCDOT 840.03 FRAME, GRATE, AND HOOD -- THE FLAT TOP SLAB ONLY ACCEPTABLE WHEN A 12" VERTICAL RISER CAN BE ACCOMMODATED ON TOP OF THE STRUCTURE (BETWEEN THE TOP OF FLAT TOP SLAB AND BOTTOM OF FRAME/GRADE)
840.53	PRECAST MANHOLE WITH MASONRY BASE 12" THRU 42" PIPE	IF USED AS A CATCH BASIN SUPPORTING NCDOT 840.03 FRAME, GRATE, AND HOOD -- THE FLAT TOP SLAB ONLY ACCEPTABLE WHEN A 12" VERTICAL RISER CAN BE ACCOMMODATED ON TOP OF THE STRUCTURE (BETWEEN THE TOP OF FLAT TOP SLAB AND BOTTOM OF FRAME/GRADE)
840.54	MANHOLE FRAME AND COVER	IF USED AS A CATCH BASIN SUPPORTING NCDOT 840.03 FRAME, GRATE, AND HOOD -- THE FLAT TOP SLAB ONLY ACCEPTABLE WHEN A 12" VERTICAL RISER CAN BE ACCOMMODATED ON TOP OF THE STRUCTURE (BETWEEN THE TOP OF FLAT TOP SLAB AND BOTTOM OF FRAME/GRADE)
840.60	DRAINAGE STRUCTURE STEPS	
840.72	CONCRETE PAVED DITCHES	
850.01	CONCRETE PAVED DITCHES	
852.04	METHODS FOR PLACEMENT OF DROP INLETS IN GRASSED MEDIAN (USING 1"-8" CURB AND GUTTER)	
852.05	METHODS FOR PLACEMENT OF DROP INLETS IN CONCRETE ISLANDS	
876.01	DRAINAGE DITCHES WITH CLASS "A" RIP RAP	
876.02	DRAINAGE DITCHES WITH CLASS "B" RIP RAP	
876.03	DRAINAGE DITCHES WITH CLASS "C" RIP RAP	
876.04	DRAINAGE DITCHES WITH CLASS "D" RIP RAP	
876.05	DRAINAGE DITCHES WITH CLASS "E" RIP RAP	
310.01	1998 DRAWINGS CONCRETE FLARED END SECTION	

NOTE 1: FOR ALL STRUCTURES - NCDOT REQUIRES CLASS B CONCRETE (2500PSI). THE CITY REQUIRES 3600 PSI CONCRETE STRENGTH @ 28 DAYS. 3600 PSI CONCRETE SHALL BE USED IN ALL CITY AND ETJ PROJECTS.

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

APPROVED FOR CONSTRUCTION

GATEWAY DESIGN GROUP, PLLC

5816 FOXBRIDGE DR WEDDINGTON, NC 28112

910-840-2866

NC FIRM # P-2147

OFFSET CATCH BASIN FOR USE W/ EXISTING UTILITY CONFLICT

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

FLARED END SECTION 12" THRU 72" PIPE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

RIPRAP APRON AT PIPE OUTFALLS OTHER THAN AT SWIM

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

ROADWAY STANDARD DRAWING FOR DRAINAGE STRUCTURE STEPS

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

SUBDRAIN DETAIL

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

SLAB TYPE CATCH BASIN 15" THRU 48" PIPE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS APPROVED FOR USE IN THE CITY OF CHARLOTTE AND CHARLOTTE ETJ

ALL RIGHTS ARE RESERVED ANY REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT PROPER PERMISSION IS STRICTLY PROHIBITED.

LUCY HOMES

6112 TUCKASEE ROAD TOWNHOMES

PROJECT ADDRESS: 6112 Tuckasee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT # 2022-020 DATE: 07/10/2023

DRAWN BY: GME CHECKED BY: JB

TITLE: STORM SEWER DETAILS

SHEET NO. C-4.2

**ENGINEERING** Emily Chien  
**EROSION CONTROL** Matthew Yankech  
**URBAN FORESTRY** Vincent Condon  
**CDOT** Jacobus Peeters

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/development>

Water Demand Calculation Results:			
Demand Type	Demand Flow (gpm)	Corresponding Meter (CLT Water Meter Chart)	
Meter-1 DOMESTIC	23	1.5"	
Meter-2			
Meter-3			

**NOTE:** ELECTRICAL SERVICE TO EACH UNIT WILL BE UNDERGROUND.

**WASTEWATER TREATMENT PLANT RECEIVING WASTEWATER**  
 MCALPINE CREEK WWTP  
 IRWIN CREEK WWTP  
 SUGAR CREEK WWTP

**NOTICE TO CONTRACTOR:** THIS LAND DEVELOPMENT PLAN HAS NOT BEEN REVIEWED OR APPROVED BY CHARLOTTE WATER VIA EPM.

**PRIOR TO CONSTRUCTION:** PLEASE CONTACT CHARLOTTE WATER NEW SERVICES WITH CHARLOTTE WATER REGARDING YOUR DEVELOPMENT.

**LAND DEVELOPMENT PLAN REVISIONS DUE TO PLAN COMMENTS BY CHARLOTTE WATER:** COMMENTS WOULD REQUIRE SUBMISSION OF A REVISED CONSTRUCTION PLAN TO THE TOWN/COUNTY FOR REVIEW. ALL ADDITIONAL FEES DUE TO THE PLAN REVISION TO BE PAID BY THE OWNER / DEVELOPER / CONTRACTOR.

**APPROVED FOR CONSTRUCTION**

**GATEWAY DESIGN GROUP, PLLC**  
 8516 FOXBRIDGE DR WEDDINGTON, NC 28154  
 910-840-2661  
 NC FIRM # P-2147

Charlotte Fire Department  
 0100-012 Gladiator  
 250.00 in  
 6.00 in  
 104.40 in  
 31.00 deg  
 33.50 deg  
 38.70 ft, 11.04 m  
 40.07 ft, 12.21 m  
 42.31 ft, 12.90 m

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CLT WATER - REQUIRED PREVENTER.
- EACH CLT WATER REQUIRED BPA IS REQUIRED TO BE TESTED BY A CLT WATER APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.
- INSULATED ENCLOSURE SHALL BE AS SPECIFIED IN CLT WATER ENCLOSURE DETAILS.
- PROVIDE ELECTRICAL TO ENCLOSURE FOR HEAT TAPE/SLAB HEATER.
- COVER SHALL BE POWDER COATED ALUMINUM BY SAFE-T COVER OR EQUAL.

**WATER & SEWER NOTES**

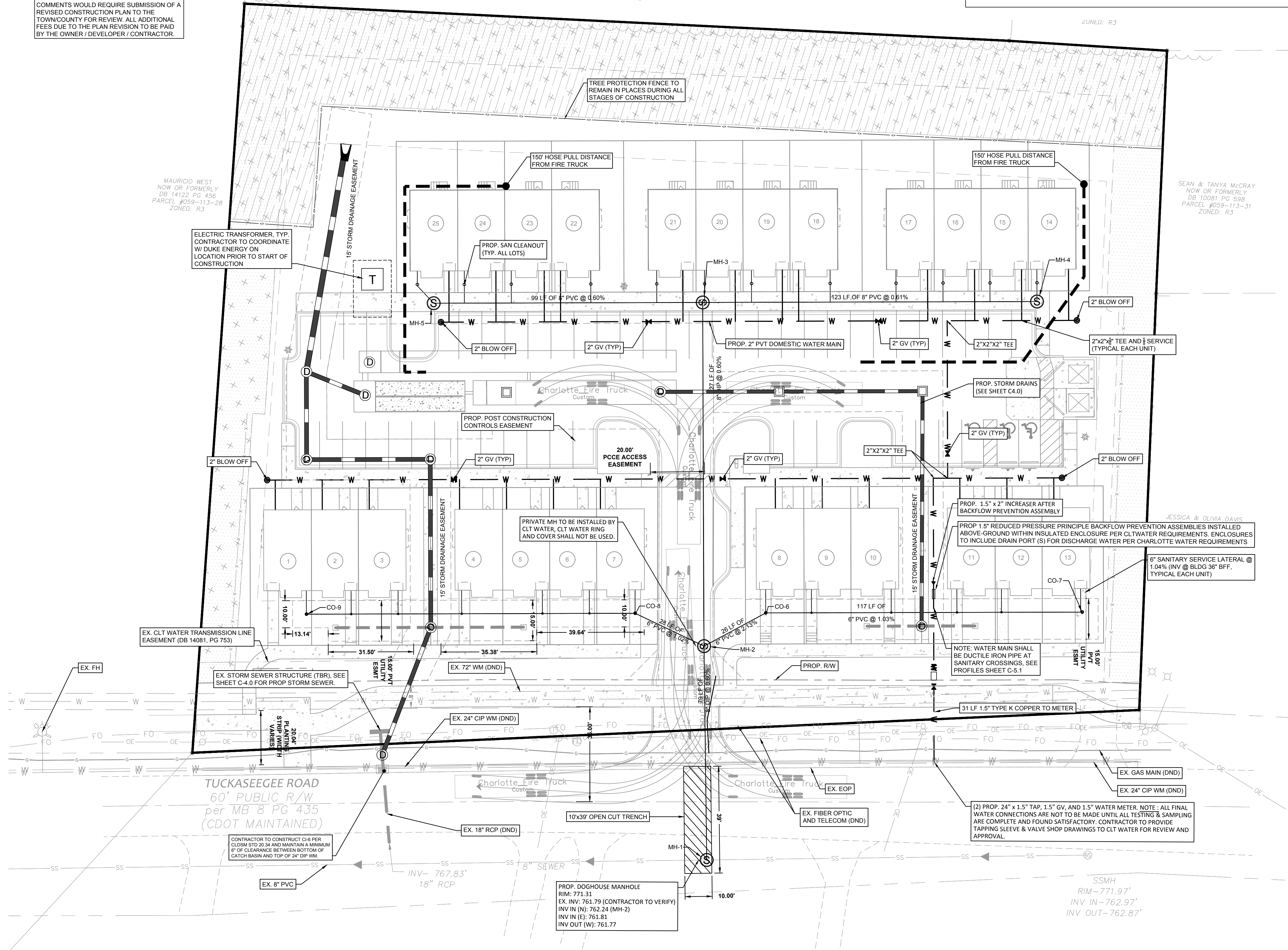
ALL WATER SERVICE PROVIDING FIRE PROTECTION SHALL BE TESTED FOR AND CERTIFIED IN ACCORDANCE WITH NFPA 24 STANDARDS.

ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED, INSPECTED, TESTED, AND CERTIFIED IN ACCORDANCE WITH AGENCY SPECIFICATIONS.

- CITY OF CHARLOTTE FIRE NOTES**
- FIRE DEPARTMENT ACCESS ROADS (AND GUTTERS) SHALL HAVE A MIN. 20' UNOBSTRUCTED CLEAR WIDTH AND SHALL BE CAPABLE OF SUPPORTING 85,000 LBS.
  - HYDRANT SHALL NOT EXCEED 750' (600' TRUCK TRAVEL, 150' HOSE PULL) TO THE MOST REMOTE POINT OF THE BUILDING ALONG THE ACCESS ROAD, AS SHOWN ON PLAN. (IFC SEC 507.5.1, EXCEPTION 2)
  - DEAD END TRUCK TRAVEL SHALL NOT EXCEED 150' WITHOUT AN APPROVED TURN-AROUND, AS SHOWN ON PLAN.
  - ALL TURNING RADII SHALL BE AT LEAST 30' INSIDE AND 42'-3 1/2" OUTSIDE FOR FIRE APPARATUS, AS SHOWN ON PLAN.

- CHARLOTTE WATER NOTES**
- CUSTOMER IS RESPONSIBLE FOR STAKING SITE AS NECESSARY TO DETERMINE SERVICE LOCATIONS & ELEVATION PRIOR TO CLT WATER CONTRACTOR MOBILIZING TO INSTALL SERVICES. SITE ADDRESS MUST BE VISIBLE POSTED AT SITE.
  - ON-SITE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ANY APPLICABLE CONFLICTING UTILITIES NECESSARY TO COMPLETE SERVICE INSTALLATION. ADDITIONAL FEES MAY APPLY & CONSTRUCTION TIME LINES EXTENDED IF CONFLICTING UTILITIES ARE NOT SHOWN ON PLANS.
  - WATER AND SEWER CONNECTIONS SHALL NOT BE LOCATED WITHIN PROPOSED CONSTRUCTION ENTRANCES.
  - PAYMENT FOR A QUOTED SERVICE CONNECTION SHALL BE CONSIDERED ACKNOWLEDGEMENT & APPROVAL OF CLT WATER COMMENTS BY THE APPLICANT; PAYMENT DOES NOT INCLUDE ANY ADDITIONAL FEES REQUIRED DUE TO UNFORESEEN CONDITIONS THAT ARE/WERE NOT DEPICTED ON THE SITE PLAN PROVIDED BY THE APPLICANT.
  - BACKFLOW PREVENTION REVIEW ENTAILS PLAN SUBMITTAL VIA CITY OF CHARLOTTE COUNTY'S CODE ENFORCEMENT PERMITTING PROCESS AT THE TIME OF APPLICATION OF BUILDING PERMITS. BACKFLOW PROGRAM REQUIREMENTS ARE AVAILABLE AT [HTTP://CHARLOTTENC.GOV/WATER/PAGES/BACKFLOWCONSTRUCTIONGUIDELINES.ASPX](http://charlottenc.gov/water/pages/backflowconstructionguidelines.aspx) PLEASE, CONTACT MARK KROUSE AT (704) 432-5800 FOR MORE INFORMATION. ANY REVISION TO THE SERVICE CONFIGURATIONS AND/OR METER LOCATIONS WILL REQUIRE A RE-SUBMITTAL TO BACKFLOW FOR REVIEW.

- UTILITY NOTES**
- CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CHARLOTTE WATER STANDARDS AND SPECIFICATIONS PER CLT WATER WEBSITE, [WWW.CHARLOTTENC.GOV](http://WWW.CHARLOTTENC.GOV).
  - ALL CONTRACTORS WORKING ON THE PROJECT ARE REQUIRED TO OWN A COPY OF THE DESIGN MANUAL AND SHALL KEEP A COPY ON THE JOB SITE AT ALL TIMES.
  - CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE PARTIES AND ASSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL NC ONE AT 1-800-632-4949 OR 811 FOR UTILITY LOCATING SERVICES 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - IF THE PROPOSED WATER AND/OR SANITARY SEWER MAIN IS INSTALLED WITHIN 12" IN ANY DIRECTION (VERTICALLY OR HORIZONTALLY) FROM GAS MAINS, THE CONTRACTOR SHALL CALL PIEDMONT NATURAL GAS COMPANY AT (704) 525-5585 AND INFORM THEM.
  - MINIMUM COVER OF 36" FOR WATER MAINS.
  - DUCTILE IRON PIPE (RED BRASS FOR 2" WATER PIPE) REQUIRED FOR BOTH WATER & SANITARY SEWER LINES IF THE FOLLOWING CLEARANCES ARE NOT MET:  
 - WATER LINE CROSSING UNDER SEWER LINE (FOR ANY CLEARANCE).  
 - 18" VERTICAL FOR WATER LINE INSTALLED ABOVE SEWER LINE.  
 - 10' HORIZONTAL SEPARATION FOR WATER LINE PARALLEL TO SEWER LINE (OR 18" VERTICAL SEPARATION IN SEPARATE DITCHES).  
 - FOR WATER LINES 12" CLEARANCE WITH STORM DRAINS, GAS MAINS, TELEPHONE DUCTS, AND UNDERGROUND CABLES.
  - DO NOT MAKE FINAL WATER CONNECTIONS UNTIL ALL TESTING & SAMPLING ARE COMPLETE AND FOUND SATISFACTORY. RP BACKFLOW DEVICE MUST BE TESTED AND CERTIFIED AT EACH LOCATION.
  - ALL WATER AND SEWER SERVICE CONNECTIONS SHALL BE MADE BY CLT WATER.
  - PROVIDE CONCRETE THRUST BLOCKS OR RESTRAINED JOINTS FOR ALL WATER SERVICE TEES, BENDS, AND HYDRANTS. UNDERGROUND UTILITIES SHOWN WERE LOCATED. ADDITIONAL UTILITIES MAY EXIST. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS AND ELEVATIONS PRIOR TO START OF WORK. SOFT-DIGS MAY BE REQUIRED BY CLT WATER.



**North Carolina 811**  
[www.nc811.org](http://www.nc811.org)

**GRAPHIC SCALE**  
 0 10' 20' 40'  
 ( IN FEET )

**HORIZONTAL 1 inch = 20 ft.**

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC., AS NECESSARY TO INSURE SAFETY.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



**LUCY HOMES**  
 6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

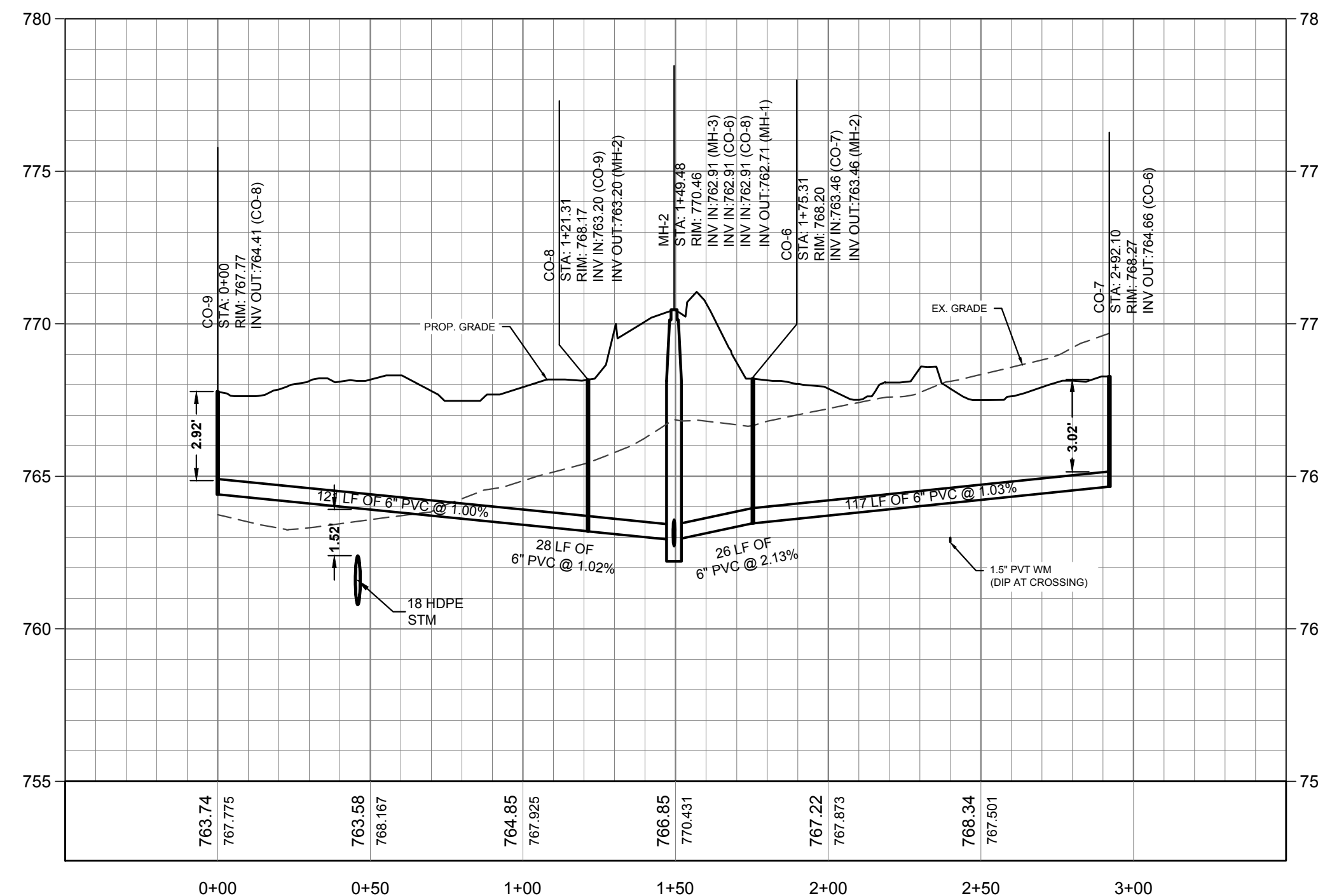
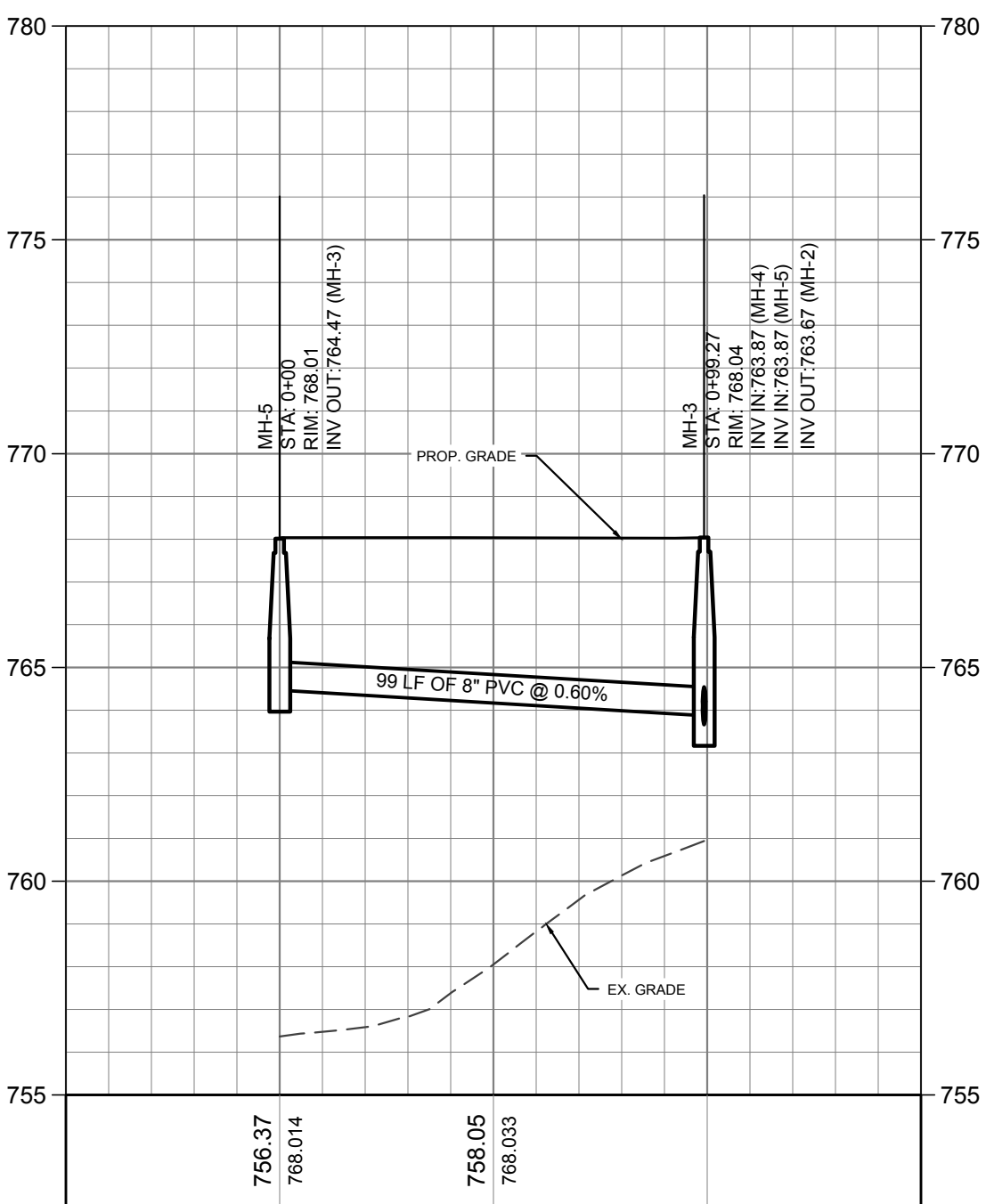
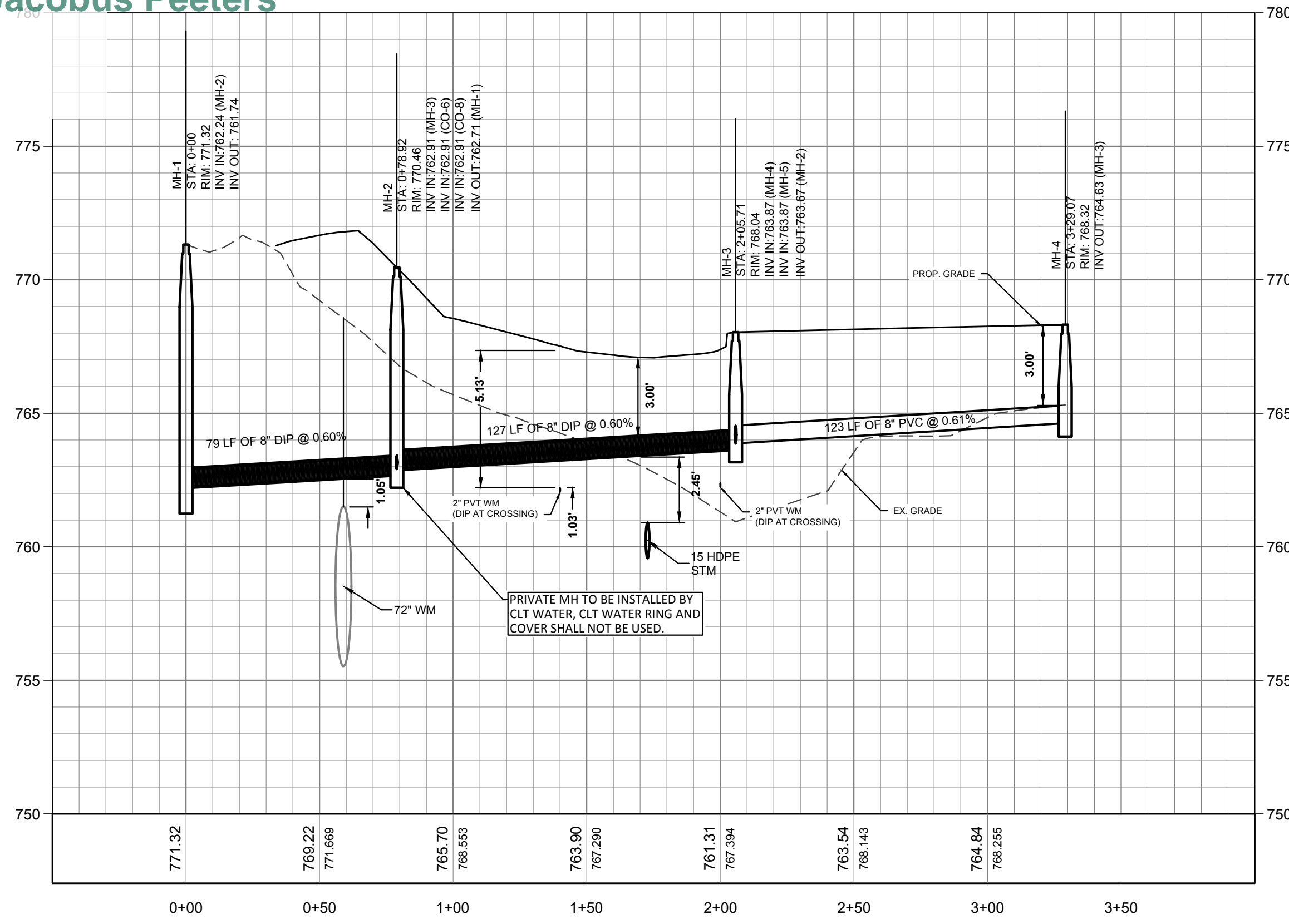
PROJECT #: 2022-020 DATE: 07/10/2023  
 DRAWN BY: GME CHECKED BY: JB  
**TITLE**  
 UTILITY PLAN  
**SHEET NO.**  
**C-5.0**



**Emily Chien**  
**Matthew Yankech**  
**Vincent Condon**  
**Jacobus Peeters**

**APPROVED FOR CONSTRUCTION**  
CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
**John Wilson**  
08/02/2023  
8516 FOXBRIDGE DR WEDDINGTON, NC 28111  
910-840-2861  
NC FIRM # P-2147

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>



APPROVAL SEAL			
N.C.P.E.			
SUMMARY OF SEWER MAINS & MANHOLES			
SIZE	LENGTH	SIZE	LENGTH
8"	79 LF		
TOTAL NO. OF MANHOLES: 1 (PVT), 1 (PUBLIC)			
TOTAL NO. LOTS SERVED: 25			
PROJECT NAME: 6112 TUCKASEEGEE RD TOWNHOMES			
JOB NO:			
DATE OF ACTIVATION:			
DATE AS BUILT:			

GRAVITY SEWER MAIN EXTENSION  
CHARLOTTE WATER

PROJECT NAME: 6112 TUCKASEEGEE ROAD TOWNHOMES CREEK BASIN:                     

CLTWater PROJECT NO.:                     

PROJECT TYPE:  NEW CONSTRUCTION  RELOCATION  MODIFICATION OF PERMIT NO.                     

VOLUME OF WASTEWATER GENERATED BY THIS PROJECT: 4,750 (TO BE PERMITTED PRIVATELY) GALLONS PER DAY BASED ON 190 GAL/DAY/SINGLE FAMILY HOUSEHOLD X 25 HOUSEHOLDS OR 135 GAL/DAY/MULTI-FAMILY UNIT X                      UNITS OR IS BASED ON:                     

WASTEWATER TREATMENT PLANT RECEIVING WASTEWATER:  
 McALPINE CR. (NC0024970)  IRWIN CR. (NC0024945)  McDOWELL CR. (NC0036277)  
 SUGAR CR. (NC0024937)  MALLARD CR. (NC0030210)  ROCKY CR. (NC0036269)

NATURE OF WASTEWATER: 100 % DOMESTIC                      % INDUSTRIAL  
                     % COMMERCIAL                      % OTHER

ORIGIN OF WASTEWATER:  SUBDIVISION  COMMERCIAL  
 SCHOOL  INDUSTRIAL  
 APARTMENTS/CONDO'S  OTHER

LIST ANY PARAMETER AND ITS CONCENTRATION THAT WILL BE GREATER THAN NORMAL DOMESTIC LEVELS:  
NONE

IF WASTEWATER IS NON-DOMESTIC, DESCRIBE LEVEL OF PRETREATMENT:  
N/A

IF A PRETREATMENT PERMIT IS REQUIRED, HAS ONE BEEN ISSUED?  YES  NO

HAS ENGINEER DETERMINED THAT DOWNSTREAM SEWERS ARE CAPABLE TO HANDLE THIS FLOW?  YES  NO  
 PERMIT NO. FOR SEWERS IMMEDIATELY DOWNSTREAM: FILE # 82-033  
 PIPE DIAMETER OF SEWERS IMMEDIATELY DOWNSTREAM: 8 INCH

HAS ENGINEER DETERMINED THAT NC DEM AND CLTWater MINIMUM DESIGN STANDARDS ARE MET BY THIS PROJECT?  YES  NO

COMPLETE NAME AND ADDRESS OF ENGINEERING DESIGN FIRM:  
CHARLOTTE WATER  
5100 BROOKSHIRE BOULEVARD  
CHARLOTTE, NORTH CAROLINA 28216

TELEPHONE: 704 - 399 - 2221

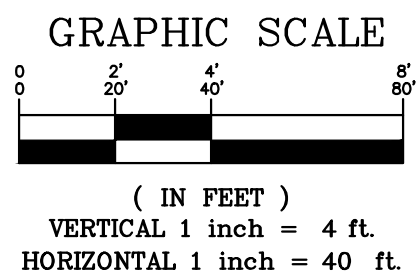
PROFESSIONAL ENGINEER'S CERTIFICATION:  
 I, GREG EMERY, ATTEST THAT THIS APPLICATION FOR 6112 TUCKASEEGEE RD TOWNHOMES HAS BEEN REVIEWED BY ME AND IS ACCURATE AND COMPLETE TO THE BEST OF MY KNOWLEDGE. I FURTHER ATTEST THAT TO THE BEST OF MY KNOWLEDGE THE PROPOSED DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS. ALTHOUGH CERTAIN PORTIONS OF THIS SUBMITTAL PACKAGE MAY HAVE BEEN DEVELOPED BY OTHER PROFESSIONALS, INCLUSION OF THESE MATERIALS UNDER MY SIGNATURE AND SEAL SIGNIFIES THAT I HAVE REVIEWED THIS MATERIAL AND HAVE JUDGED IT TO BE CONSISTENT WITH THE PROPOSED DESIGN.

NORTH CAROLINA PROFESSIONAL ENGINEER'S SEAL, SIGNATURE, AND DATE:

CLTWater PERMIT NO.                      ISSUED                     

PLANT FLOW ALLOCATION RECORDED BY:                     

PERMIT APPROVED BY: JOSEPH C WILSON, P.E., CHIEF ENGINEER



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC., AS NECESSARY TO INSURE SAFETY.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

GATEWAY DESIGN GROUP, PLLC  
 8516 FOXBRIDGE DR WEDDINGTON, NC 28111  
 910-840-2861  
 NC FIRM # P-2147

LUCY HOMES  
 6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT # 2022-020 DATE: 07/10/2023  
 DRAWN BY: GME CHECKED BY: JB

TITLE: **SANITARY SEWER PROFILES**

SHEET NO. **C-5.1**

C:\Users\Greg\OneDrive\Desktop\Projects\2022\2022-020 - 6112 Tuckaseegee Rd\CADD\Plansets\C-5.0 - Utility Plan.dwg GREG



**ENGINEERING**  
 PCSO / DETENTION / DRAINAGE PLAN

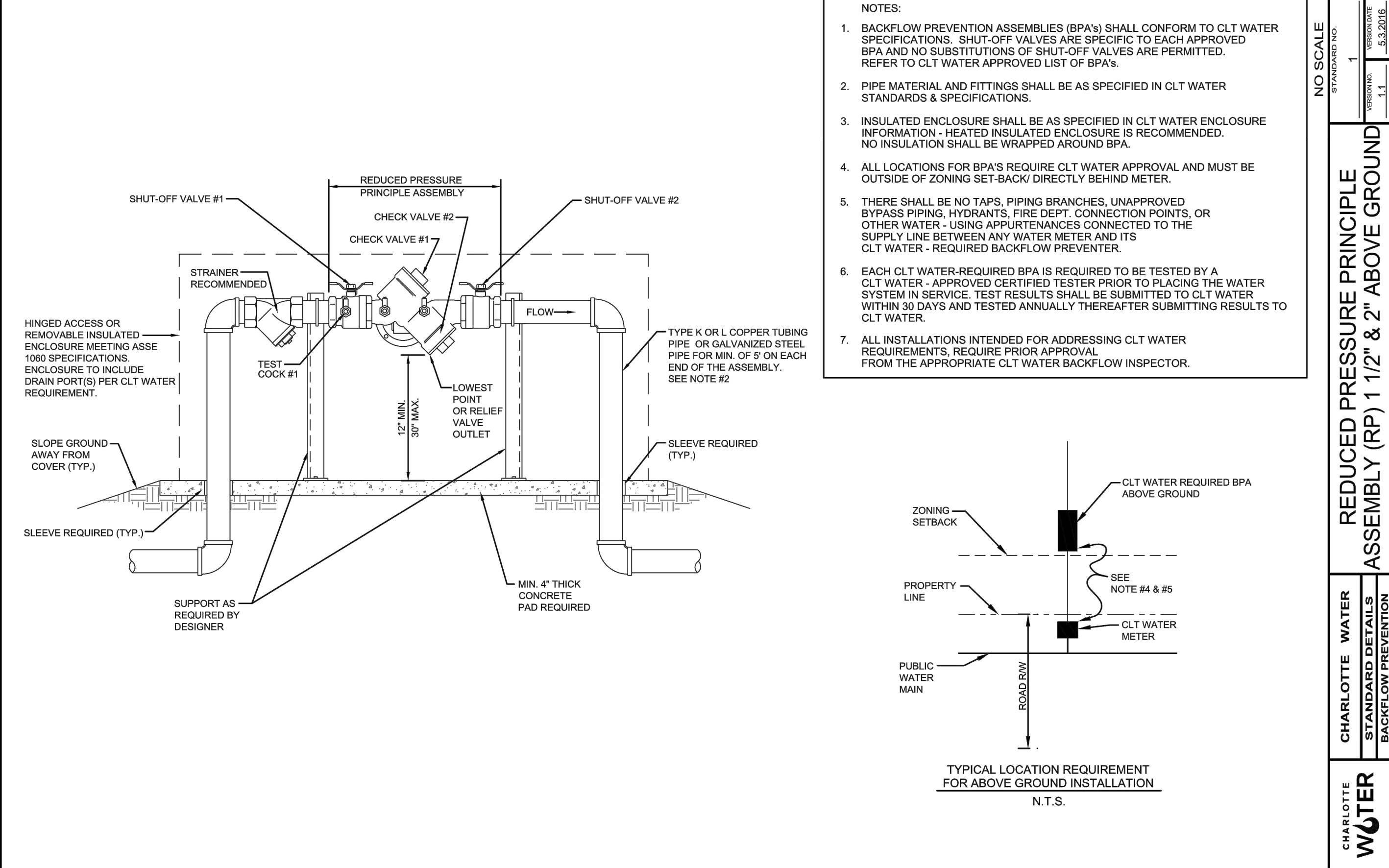
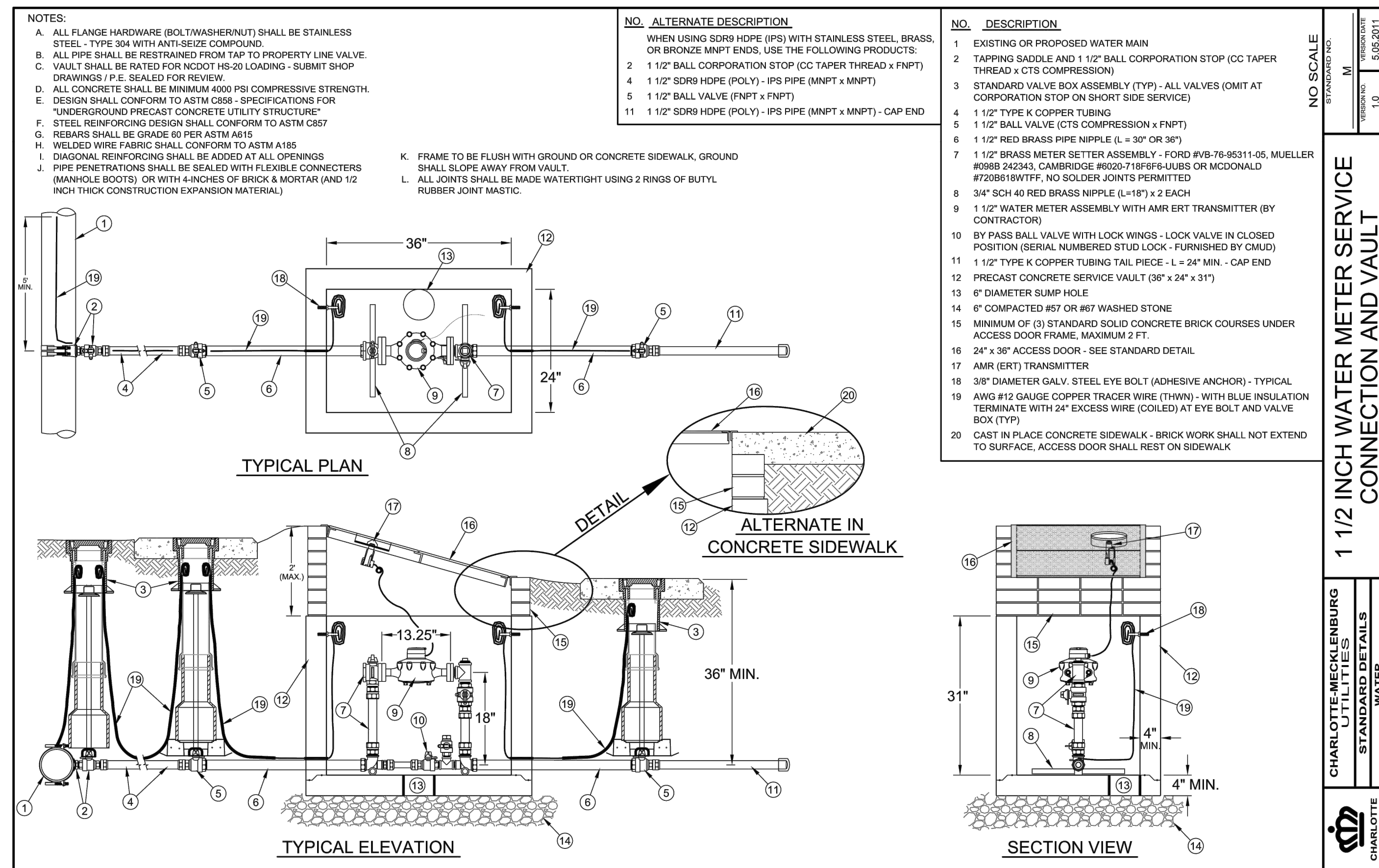
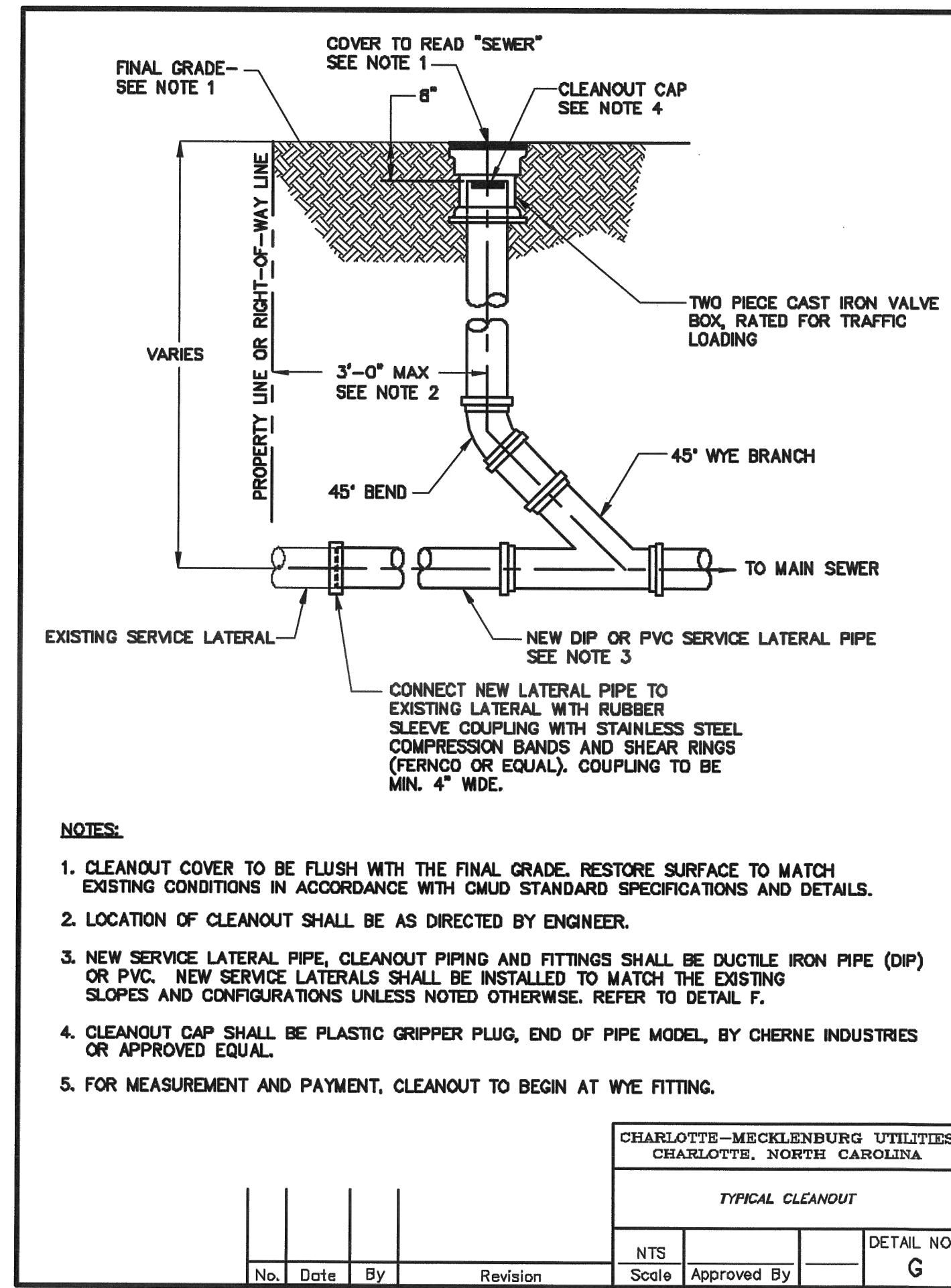
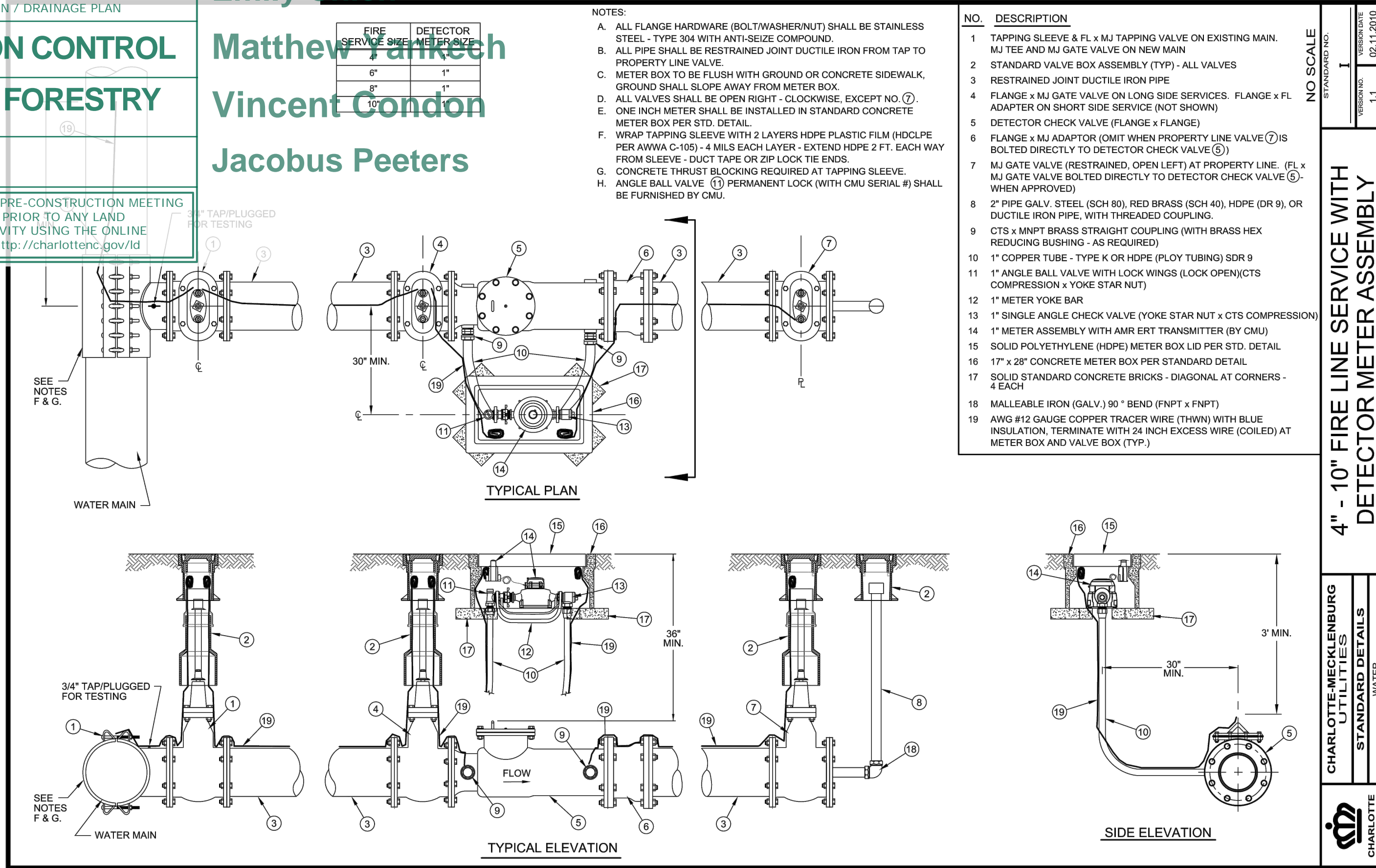
**EROSION CONTROL**

**URBAN FORESTRY**  
 TREE ORDINANCE

**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

Emily Chien  
 Matthew Fainkech  
 Vincent Condon  
 Jacobus Peeters



APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG UTILITIES DEPARTMENT

John W. ...

8/9/2023

**GATEWAY DESIGN GROUP, PLLC**

8516 FOXBRIDGE DR WEDDINGTON, NC 28154  
 910-840-2661  
 NC FIRM # P-2147

MONTHLY CAROLINA PROFESSIONAL SEAL  
 045773  
 ENGINEER  
 THORNTON M. EMERY

6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckaseege Road Charlotte, NC 28208

**LUCY HOMES**

**ENGINEERING**  
 PCSO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**  
 TREE ORDINANCE

**URBAN FORESTRY**  
 TREE ORDINANCE

**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/landmarking>

Symbol	Common Name	Quantity	Caliper at planting	Height at planting
	<b>Emily Chien</b> Cercis canadensis Eastern redbud	1	2"	8'
	<b>Matthew Yankech</b> Ilex cornuta burfordi Burford Holly	11	2"	10'
	<b>Vincent Condon</b> Acer saccharum Sugar Maple	10	2"	8'
	<b>Jacobus Peeters</b> Ulmus parvifolia Lacebark Elm	13	2"	8'
		12	2"	8'
		101		

NOTE: ALL SHRUBS SHALL BE A MINIMUM 2 FT HIGH BY 2 FT WIDE AT PLANTING.

NOTE: EXISTING TREES WITHIN THE BUFFER CONSIST OF AT LEAST 4 TREES REQUIRED PER 100 LF BASED ON BUFFER WIDTH 2" CALIPER MIXED HARDWOOD TREES EVENLY DISTRIBUTED EVERY 100 LINEAR FEET. AT LEAST 40% OF THE EXISTING TREES ARE LARGE MATURING AND 25% ARE EVERGREEN AT A MINIMUM. SUPPLEMENTAL TREES WILL BE PROVIDED IN ANY VOID AREAS OF THE BUFFER.

WHERE BUFFER IS UNDISTURBED, EXISTING VEGETATION SHALL BE UTILIZED TO MEET BUFFER REQUIREMENTS. CONTRACTOR TO COORDINATE PLANTINGS WITH URBAN FORESTRY INSPECTOR DURING CONSTRUCTION.

18 FT CLASS C BUFFER CHART	
# OF TREES REQ. PER 100 FT =	4
# OF SHRUBS REQ. PER 100 FT =	20

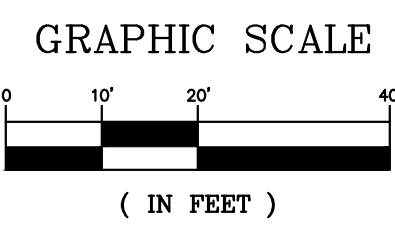
EAST BUFFER = 235 LF (13.5 FT W/ FENCE)	
# OF TREES REQ. =	9
# OF TREES PROVIDED =	9
# OF EVERGREEN TREES REQ. =	2
# OF EVERGREEN TREES PROVIDED =	2
# OF LARGE MATURING TREES REQ. =	4
# OF LARGE MATURING TREES PROVIDED =	4
# OF SHRUBS REQ. =	27
# OF SHRUBS PROVIDED =	27
# OF EVERGREEN SHRUBS REQ. =	20.55
# OF EVERGREEN SHRUBS PROVIDED =	21

WEST BUFFER = 244 LF (13.5 FT W/ FENCE)	
# OF TREES REQ. =	10
# OF TREES PROVIDED =	10
# OF EVERGREEN TREES REQ. =	2
# OF EVERGREEN TREES PROVIDED =	2
# OF LARGE MATURING TREES REQ. =	4
# OF LARGE MATURING TREES PROVIDED =	4
# OF SHRUBS REQ. =	30
# OF SHRUBS PROVIDED =	30
# OF EVERGREEN SHRUBS REQ. =	23
# OF EVERGREEN SHRUBS PROVIDED =	23

NORTH BUFFER = 341 LF	
# OF TREES REQ. =	14
# OF TREES PROVIDED =	14
# OF EVERGREEN TREES REQ. =	3
# OF EVERGREEN TREES PROVIDED =	3
# OF LARGE MATURING TREES REQ. =	5
# OF LARGE MATURING TREES PROVIDED =	5
# OF SHRUBS REQ. =	68
# OF SHRUBS PROVIDED =	68
# OF EVERGREEN SHRUBS REQ. =	51
# OF EVERGREEN SHRUBS PROVIDED =	51

**LANDSCAPE PLAN GENERAL NOTES:**

- ALL METER BANKS, HVAC, AND RELATED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW AND ADJOINING PROPERTY OWNERS.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING ANY DEMOLITION, GRADING OR CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.
- GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.



Adjust tree so that it is not in sidewalk.

**PERIMETER TREE REQUIREMENTS**  
 SHOW LINEAR FEET OF ROAD FRONTAGE ALONG PUBLIC MAINTAINED RIGHT-OF-WAY, INCLUDING DRIVEWAYS. CALCULATE ONE LARGE MATURING TREE EVERY 40 LINEAR FEET OR FACTION THEREOF, OR IF OVERHEAD POWER IS PRESENT, ONE SMALL MATURING TREES EVERY 30 FEET OR FACTION THEREOF.

STREET: TUCKASEEGEE/350 LFT = 9 TREES REQUIRED/9 TREES PROVIDED (EVERY 40')

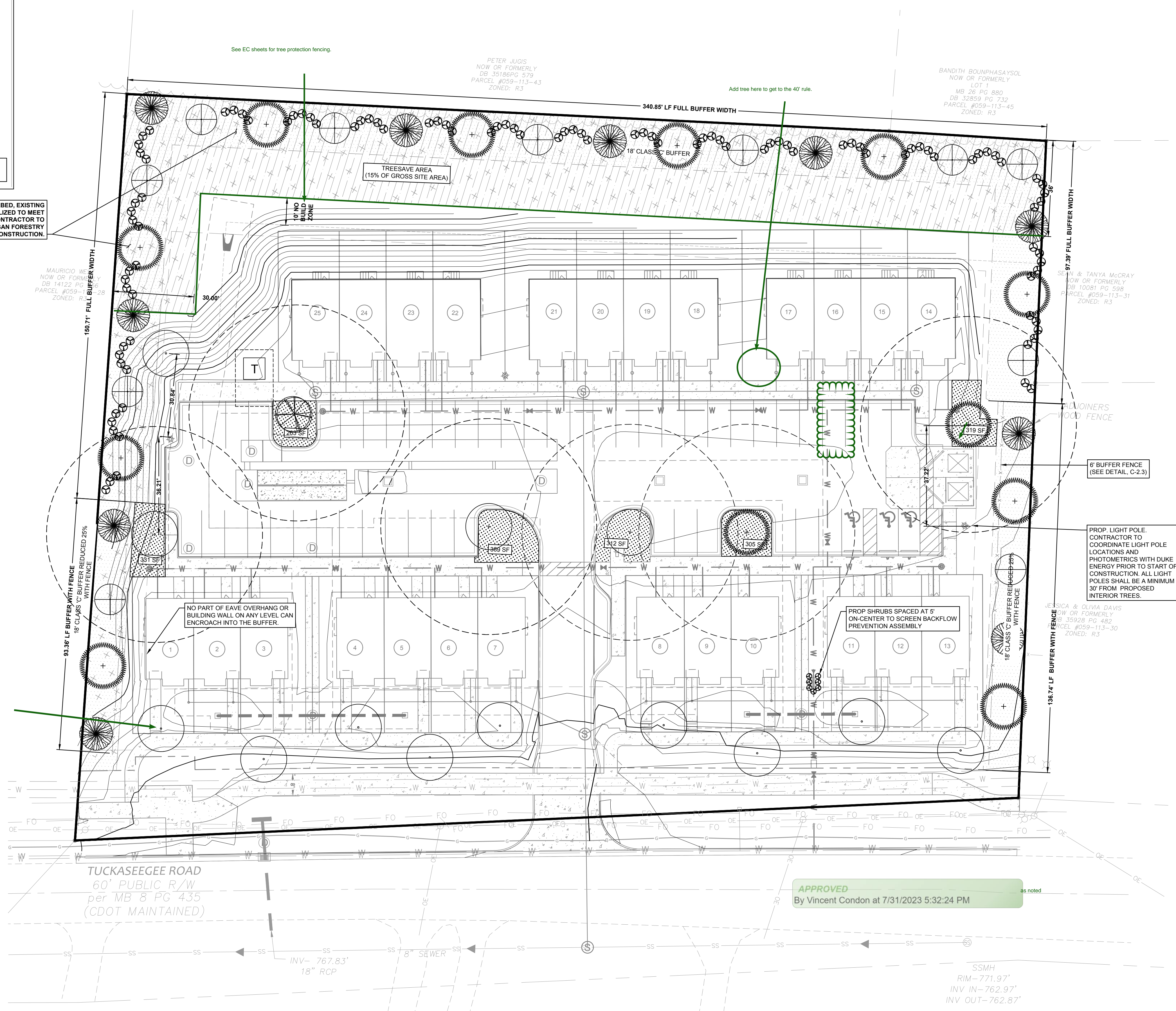
**INTERNAL TREE REQUIREMENT:**  
 ONE TREE PER 10,000 SQ. FT OF IMPERVIOUS AREA OR FACTION THEREOF. ALL PARKING SPACES TO BE WITHIN 40 FEET OF A TREE.

IMPERVIOUS AREA/10,000 = 39,620/10,000 = 4 TREES REQUIRED/ 4 TREES PROVIDED.

**TREE SAVE AREA (TSA) REQUIREMENTS**  
 A MINIMUM 15 PERCENT OF THE OVERALL COMMERCIAL SITE MUST BE PRESERVED AS TREE SAVE AREA (UNLESS THE SITE FALLS UNDER ONE OF THE EXCEPTIONS).

SITE ZONING: R-17MF; CENTER: WEDGE

CALCULATIONS:  
 GROSS SITE AREA = 2.06 AC  
 TOTAL TREE SAVE AREA REQUIRED = 0.309 (13,461) ACRES (SQ. FT)  
 TREE SAVE PROVIDED = 0.309 (13,461) ACRES (SQ. FT)



**APPROVED FOR CONSTRUCTION**  
 CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
 JOHN W. WELLS  
 08/02/2023

**GATEWAY DESIGN GROUP, PLLC**  
 8516 FOXBRIDGE DR WEDDINGTON, NC 28111  
 910-840-2861  
 NC FIRM # P-2147

SEAL  
 045773  
 ENGINEER  
 GEORGE M. ENRI

**LUCY HOMES**  
 6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT #: 2022-020 DATE: 07/10/2023  
 DRAWN BY: GME CHECKED BY: JB  
 TITLE  
 LANDSCAPE PLAN  
 SHEET NO.  
**C-6.0**

**ENGINEERING**  
PCSO / DETENTION / DRAINAGE PLAN

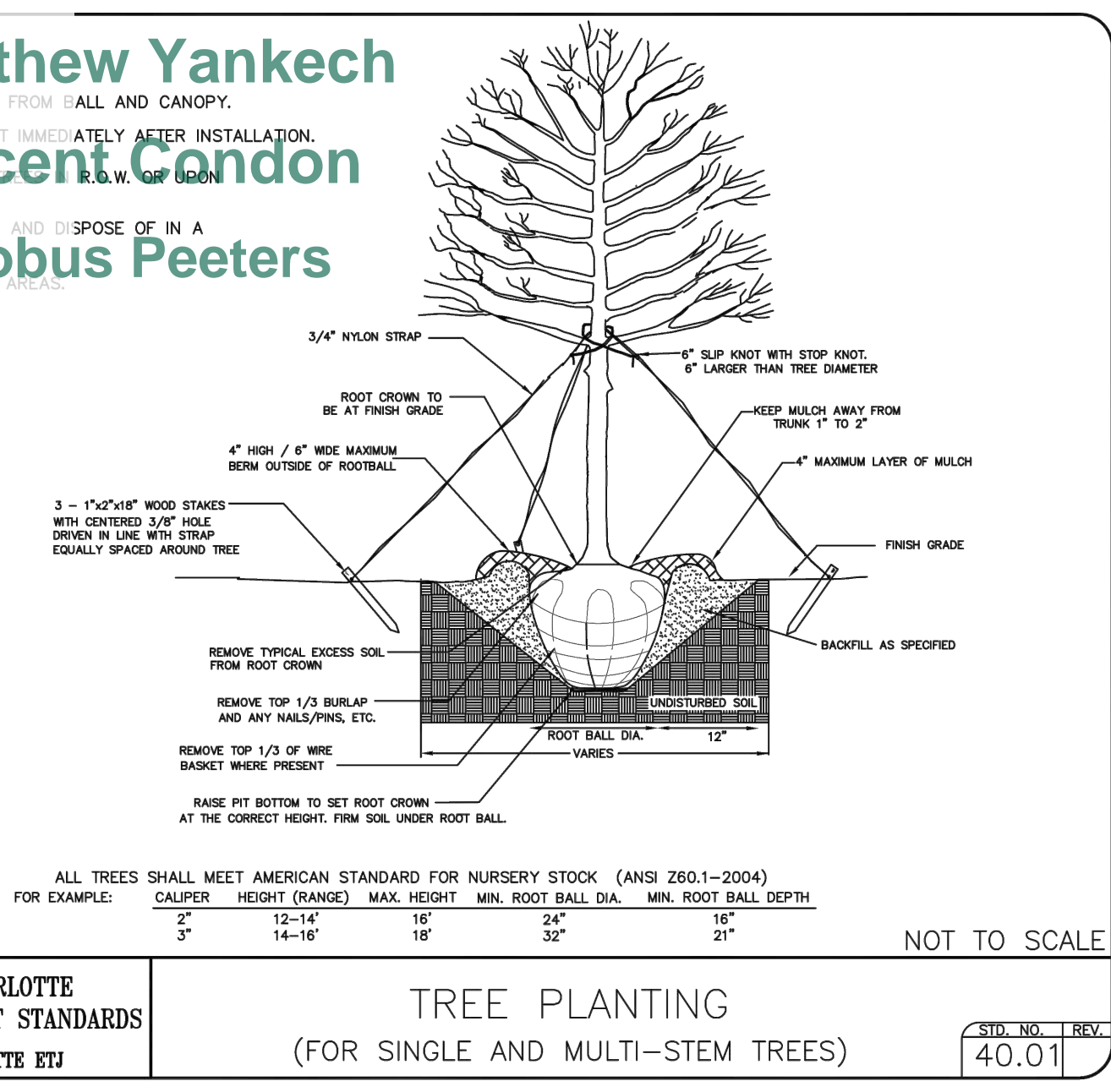
**EROSION CONTROL**

**URBAN FORESTRY**  
TREE ORDINANCE

**CDOT**

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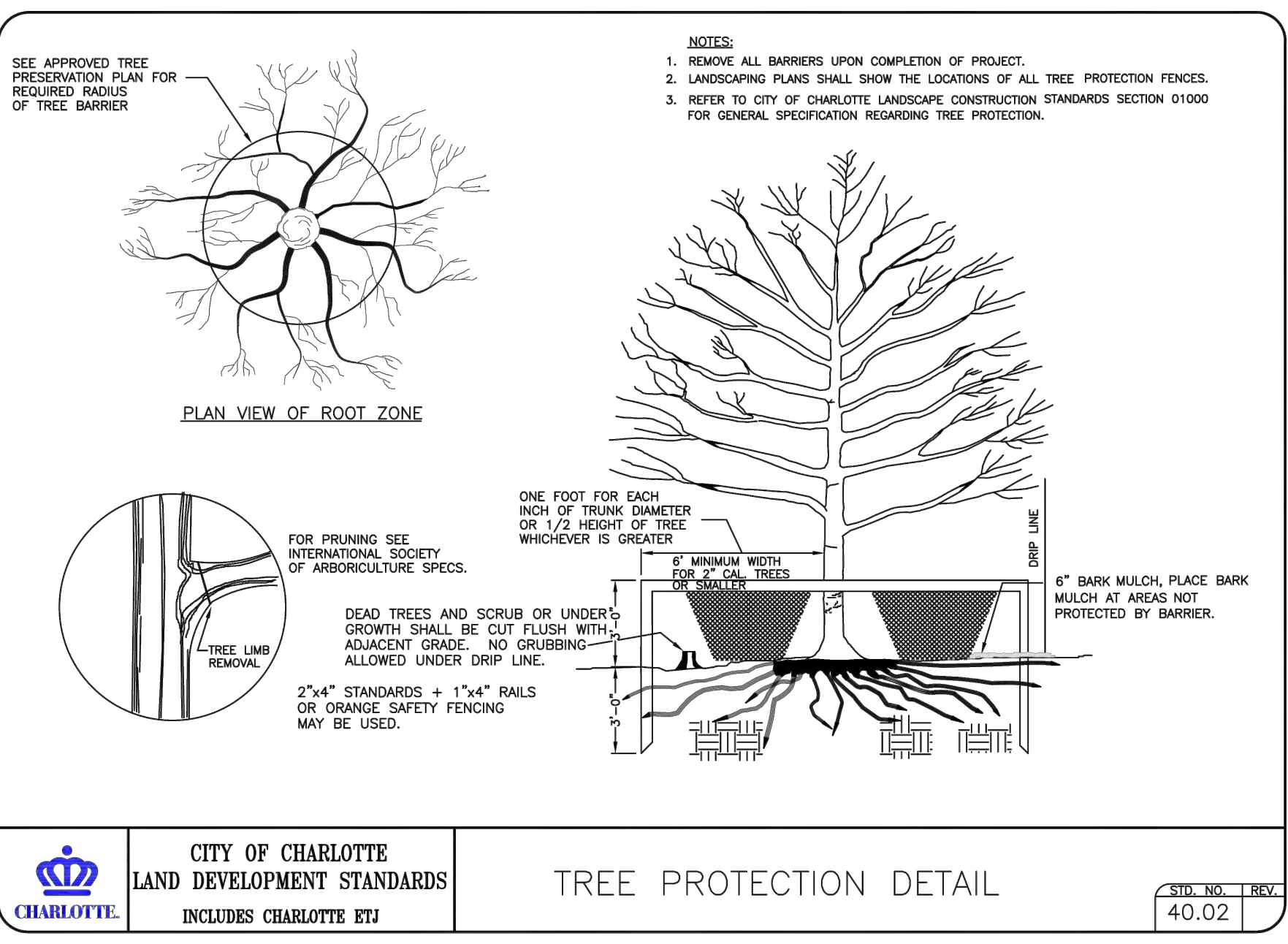
**Emily Chien**  
**Matthew Yankech**  
**Vincent Gandon**  
**Jacobus Peeters**



**CITY OF CHARLOTTE**  
**LAND DEVELOPMENT STANDARDS**  
INCLUDES CHARLOTTE ETJ

**TREE PLANTING**  
(FOR SINGLE AND MULTI-STEM TREES)

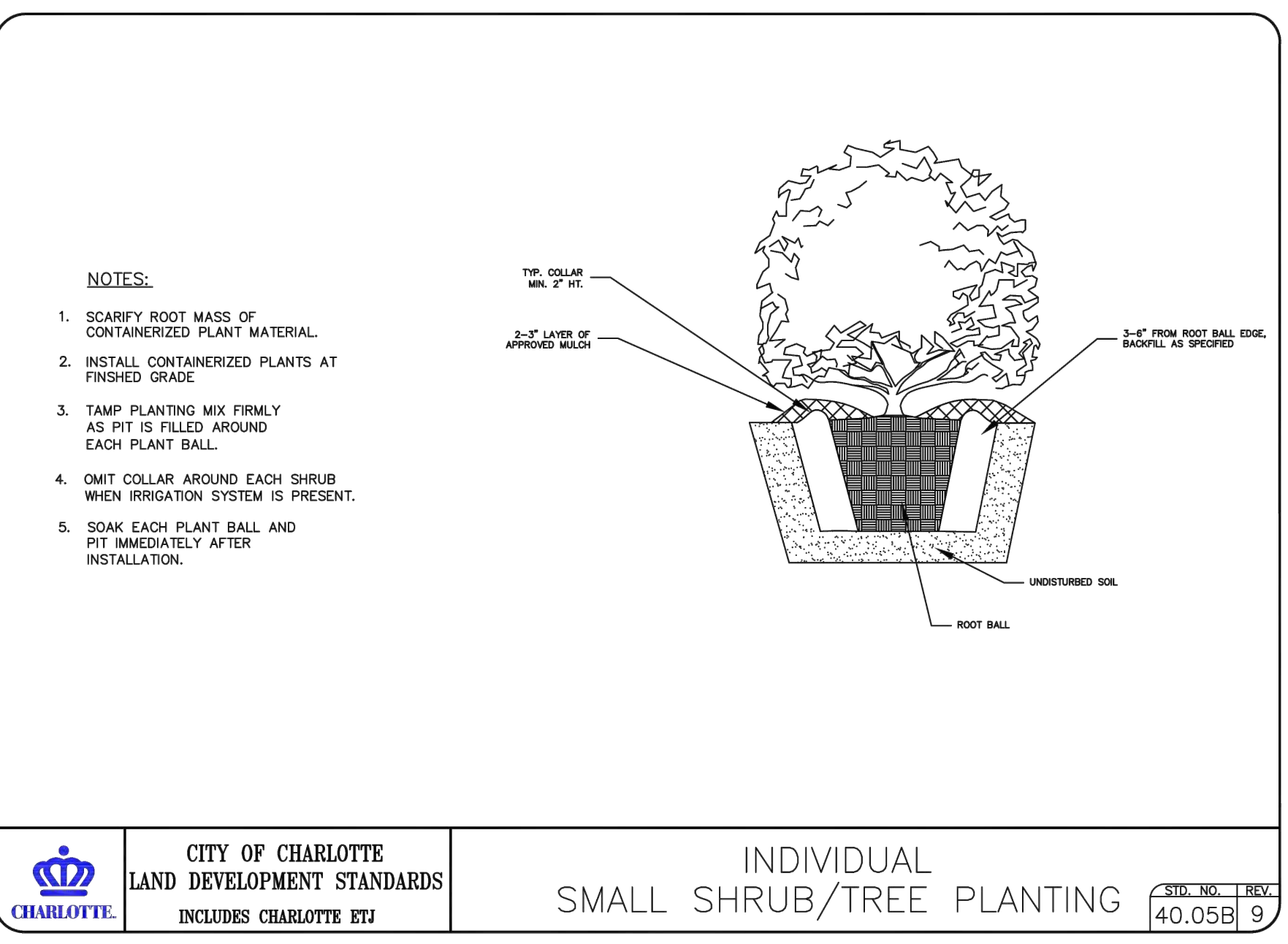
STD. NO. 40.01 REV. 9



**CITY OF CHARLOTTE**  
**LAND DEVELOPMENT STANDARDS**  
INCLUDES CHARLOTTE ETJ

**TREE PROTECTION DETAIL**

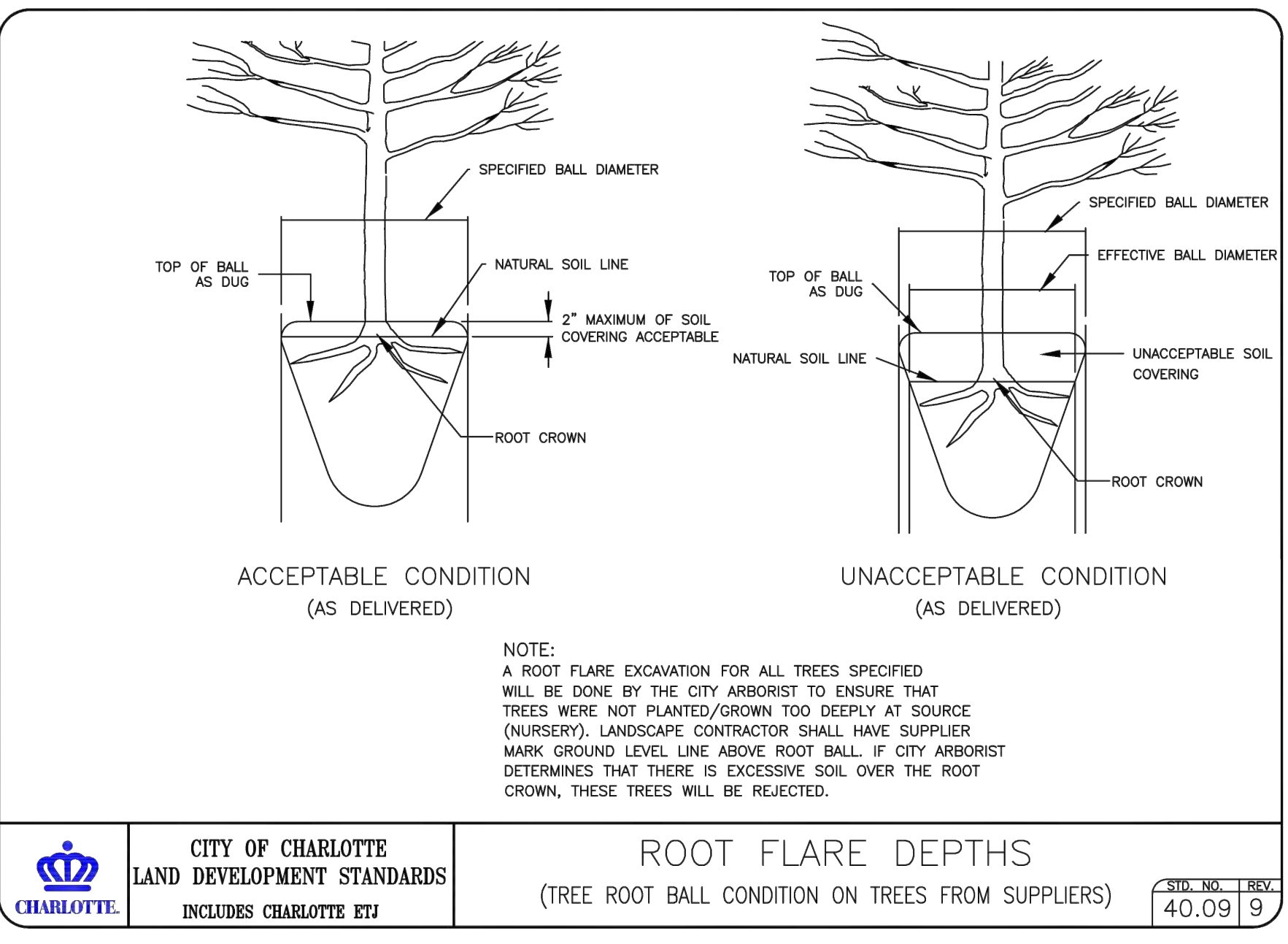
STD. NO. 40.02 REV. 9



**CITY OF CHARLOTTE**  
**LAND DEVELOPMENT STANDARDS**  
INCLUDES CHARLOTTE ETJ

**INDIVIDUAL SMALL SHRUB/TREE PLANTING**

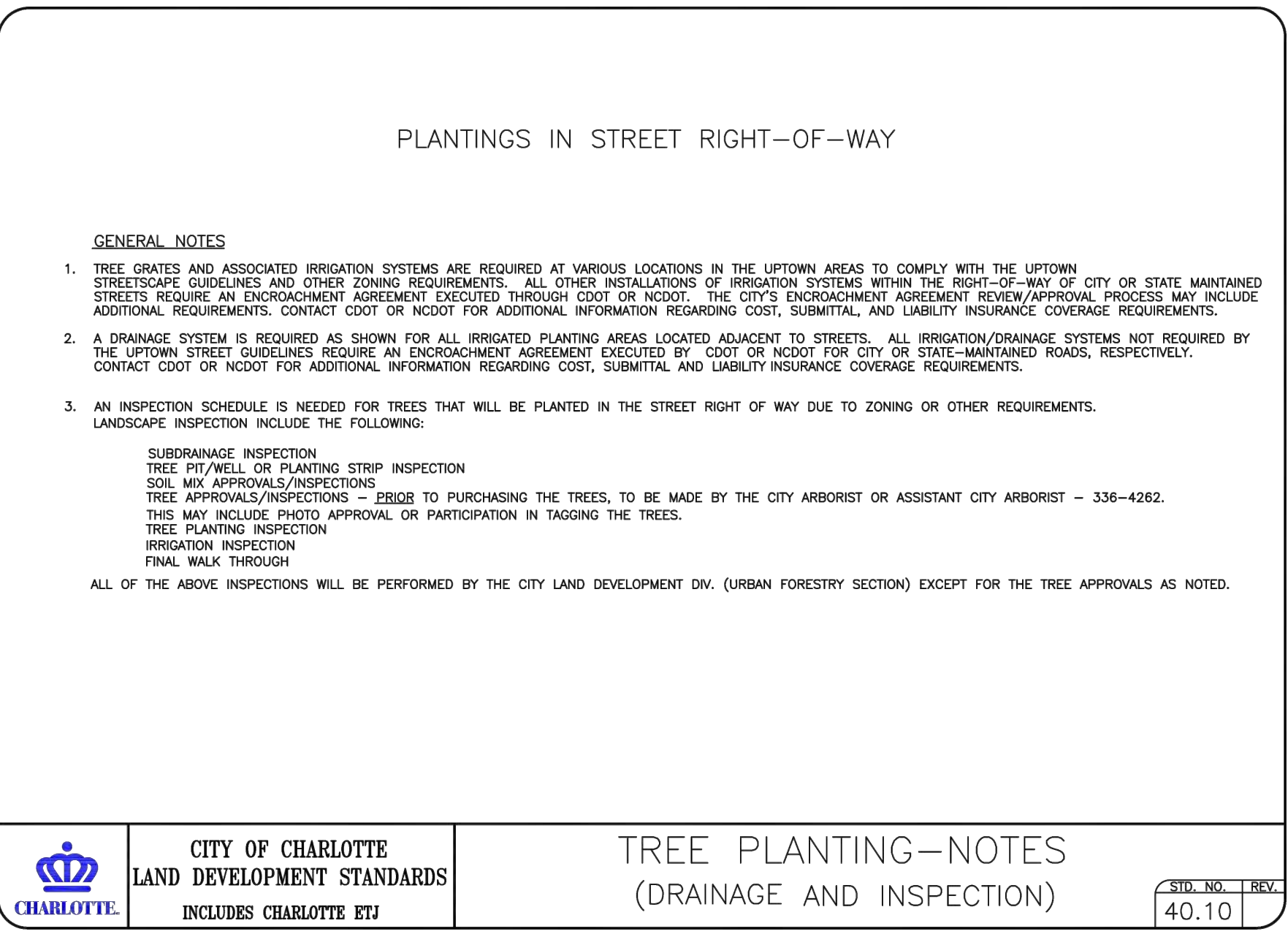
STD. NO. 40.05B REV. 9



**CITY OF CHARLOTTE**  
**LAND DEVELOPMENT STANDARDS**  
INCLUDES CHARLOTTE ETJ

**ROOT FLARE DEPTHS**  
(TREE ROOT BALL CONDITION ON TREES FROM SUPPLIERS)

STD. NO. 40.09 REV. 9



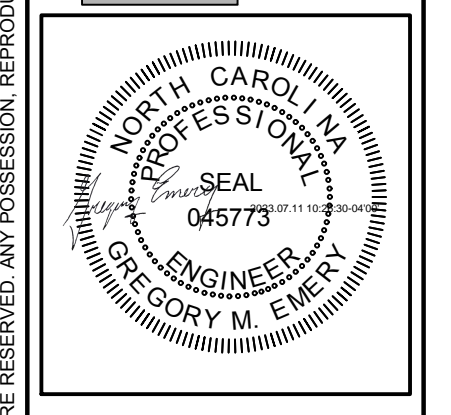
**CITY OF CHARLOTTE**  
**LAND DEVELOPMENT STANDARDS**  
INCLUDES CHARLOTTE ETJ

**TREE PLANTING-NOTES**  
(DRAINAGE AND INSPECTION)

STD. NO. 40.10 REV. 9

**APPROVED FOR CONSTRUCTION**  
CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
John W. ...  
8/9/2023

**GATEWAY DESIGN GROUP, PLLC**  
8516 FOXBRIDGE DR WEDDINGTON, NC 28111  
910-840-2661  
NC FIRM # P-2147



- Plant Material**
- Minimum tree size at planting is 2" caliper and 8' tall for single-stem trees. All multi-stem plants must be tree form, maximum 3 to 5 trunks, and minimum 10' tall. Where 3" single-stem caliper trees are specified, the minimum height shall be 10' tall, if multi-stem trees are specified then they shall be a minimum of 12' tall.
  - All new trees must have straight trunks with strong central leaders intact to the top of the crown unless multi-stem trees are specified. All required trees shall be typical of their species and variety, have normal growth habits, have well-developed branches, be vigorous and have fibrous root systems. Trees with major girdling roots will NOT be accepted. Trees with codominant branching will NOT be accepted. Trees that have been sheared, topped or cut back to multiply the branching structure will NOT be accepted. Trees shall be free of abrasions, damage, disease, pests and cracks. All pruning cuts greater than 1/2 inch diameter shall have callus tissue formed prior to planting. No pruning cut on the trunk shall be more than one-half the diameter of the central leader at the height where the cut was made. Root flare shall be located at grade. Trees with more than 2" of soil covering the root flare will NOT be accepted (CLDS 40.09).
  - Size of required plants, spread of roots and size of balls shall be in accordance with ANSI Z60.1 (latest edition) as published by the American Nursery & Landscape Association, except where specified/authorized by Urban Forestry.
  - All required trees of a particular species and variety shall be uniform in size and configuration.
  - Perimeter trees in urban zones shall be 3" in caliper and be free of branches up to 6' from the top of root crown (ball).
  - A minimum of 50% of new trees must be native species, and sites with more than 20 trees required will have to install multiple (3 or more) species pursuant to the Tree Ordinance Guidelines.
  - 75% of required trees must be large mature species except in situations with overhead power line conflicts.
- Planting Requirements**
- See CLDS 40.01 & 40.09 (on plan) for detailed tree planting requirements.
  - Plastic hose parts will NOT be accepted for tree staking. See CLDS 40.01 for approved staking method/materials.
  - All staking, and top 1/3 of wire basket and burlap must be cut away and removed from root ball when planting.
  - For new planting areas, remove all pavement, gravel sub-base and construction debris, remove compacted soil and add 18" new topsoil, or till and amend the top 18" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 274 square feet).
  - Trees planted on public street right-of-way require approval from Urban Forestry prior to installation.
  - Review soil requirements in the Tree Ordinance Guidelines.
- Utility Issues**
- If utility is to be installed in/near any required tree(s) or Tree Save Area(s), call Urban Forestry PRIOR to utility installation.
  - Large maturing trees may not be planted within 25' of overhead power distribution or transmission lines.
  - If trees conflict with any utilities or signs, call Urban Forestry to resolve BEFORE planting.
  - Adjust tree planting locations to avoid existing underground utilities. Plant 15' from all underground utilities.
  - No light poles, utilities or transformers can be installed in tree islands.
  - Commercial scale lighting (> 15' in height) must be a minimum distance of 30' from a tree. Pedestrian scale lighting (< 15' in height) must be a minimum distance of 15' from a tree. Show site lighting on landscape plan.
- Tree Save and Preservation**
- Tree protection must be installed and verified by Urban Forestry prior to starting ANY construction activity.
  - Show tree protection and tree save areas on demolition, erosion control, grading and landscape plan sheets.
  - Commercial tree save areas must be recorded on a final plat with the Mecklenburg County Register of Deeds before Urban Forestry holds can be released. A 10' no build zone around tree save areas must be referenced on the plat.
  - Tree Save Areas shall be free of invasive plant species. If an area proposed for tree save contains invasive plant species at time of proposal, such invasive plant species shall be removed prior to final CO.
  - The area of any easements (water, sewer, utility, etc.) can NOT be counted toward the tree save requirement.
  - Any activity in tree save areas must be accomplished without mechanized equipment.
  - No structure will be allowed within 10' of tree save areas unless approved by Urban Forestry.
  - All trees on public street right-of-way/property are protected and removal must be permitted by Urban Forestry.
  - Contact Urban Forestry PRIOR to any crane set-up, machinery operation or temporary building erection that may impact protected trees, tree save areas, including City trees in public right-of-way. Impacts may include but are not limited to: encroaching in tree drip-lines, excavation, soil compaction, tree trimming, erecting and dismantling of construction cranes.
- General**
- Submit required CO/hold release form at <https://charlottenc.gov/developmentcenter> for an inspection of tree protection/planting areas, a minimum of 3 days before the CO/hold release is needed.
  - Visit City of Charlotte's CLT Development Center for additional information and urban forestry requirements: <https://charlottenc.gov/developmentcenter> then click Trees.
  - All tree save payment-in-lieu, perimeter tree payment in lieu, and City tree mitigation payments (checks) must be submitted to:  
Attn: Urban Forestry Supervisor  
CLT Development Center  
600 E. Fourth St. (1st Floor)  
Charlotte, NC 28202

NO.	BY	DATE	REVISION

PROJECT # 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB  
TITLE  
LANDSCAPE DETAILS  
SHEET NO.  
**C-6.1**

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**ENGINEERING**  
 PCSO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**

**URBAN FORESTRY**  
 TREE ORDINANCE

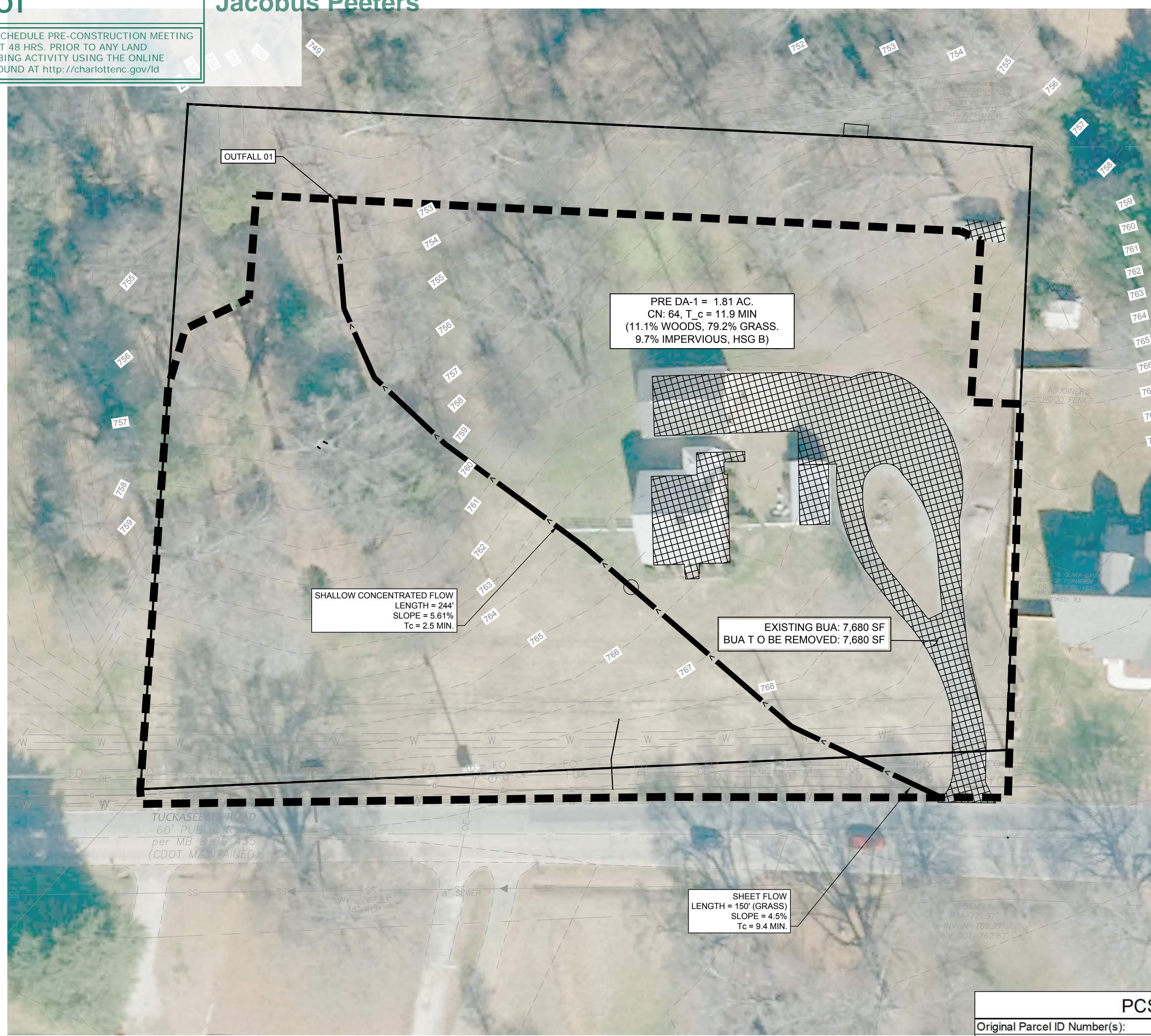
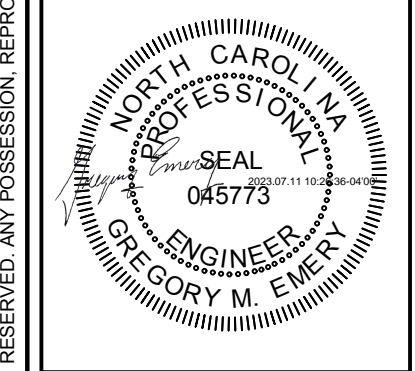
**CDOT**

PROJECT ENGINEER: **Emily Chien**  
 PROJECT MANAGER: **Matthew Yankech**  
 STORMWATER PIPE AND STRUCTURE DESIGNER: **Vincent Condon**  
 STORMWATER DETENTION DESIGNER: **Jacobus Peeters**

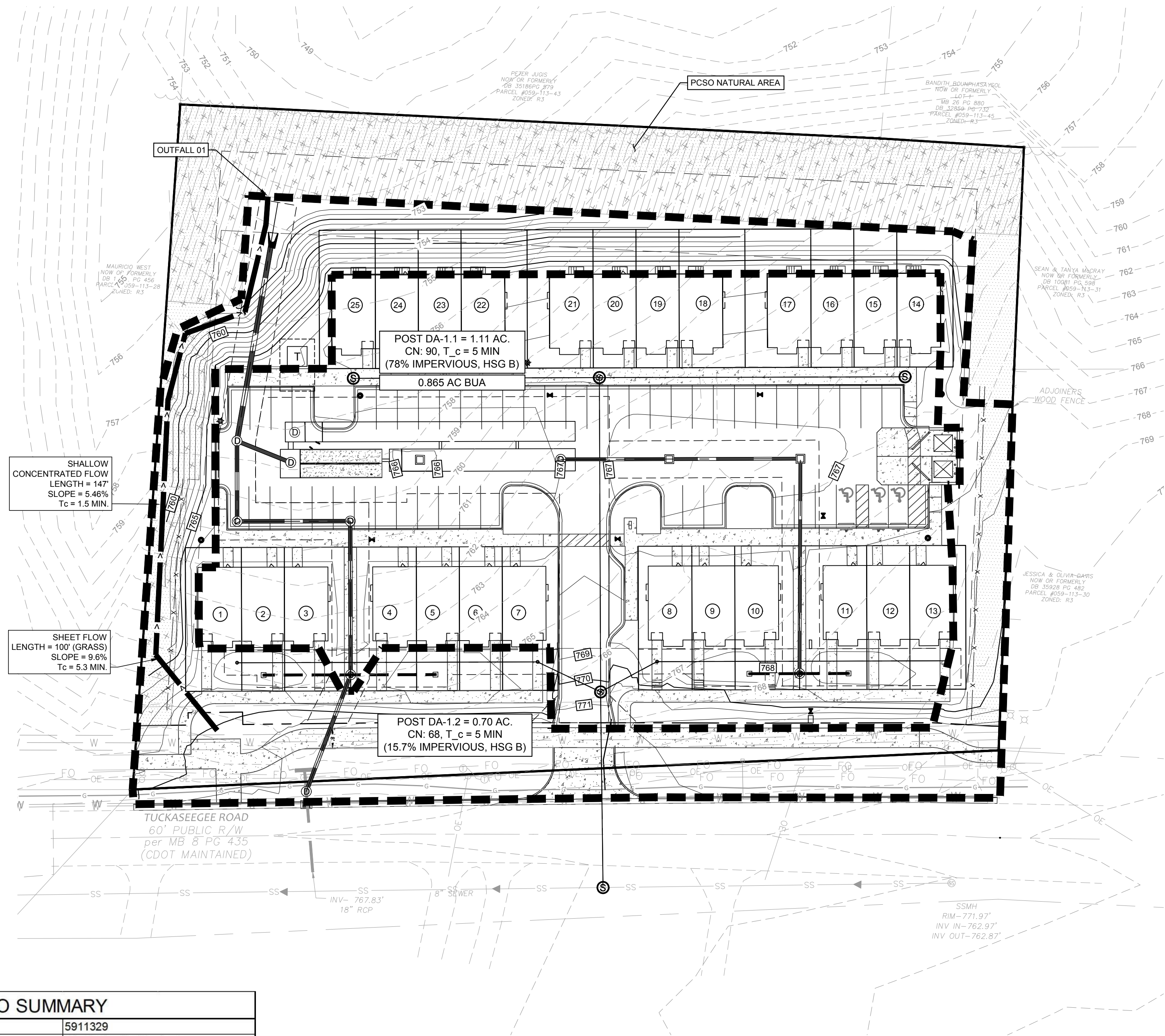
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

**APPROVED FOR CONSTRUCTION**  
 CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
**John W. ...**  
 8/9/2023

**GATEWAY DESIGN GROUP, PLLC**  
 8516 FOXBRIDGE DR WEDDINGTON, NC 28111  
 910-840-2861  
 NC FIRM # P-21147



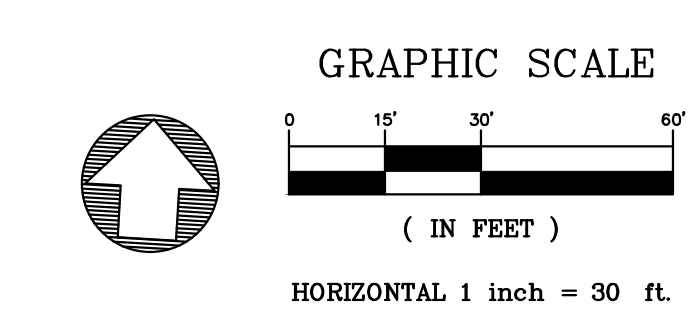
**PRE DRAINAGE AREA**



**POST DRAINAGE AREA**

**PCSO SUMMARY**

Original Parcel ID Number(s):	5911329
Development Type:	Single-Family Attached
Subject to PCSO? Y/N	Y
If NO, why?	
Watershed:	Western Catawba
Disturbed Area (ac):	1.88
Site Area (ac):	1.81
	DA#1      DA#2
Total on-site Drainage Area (ac):	1.81
Existing Built-upon-area (SF):	7,680
Existing BUA to be removed (SF):	7,680
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	37,696
Proposed % BUA:	48%
Density (High / Low)	HIGH
Total Post-Project BUA for site:	37,696
Development or Redevelopment?	Development
Natural Area Required (ac):	0.361 (17.5%)
Natural Area provided, total (ac):	0.367 (17.8%)
Undisturbed Treed Natural Area Preserved (ac):	0.309
Total stream buffer protected on-site (ac):	0
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC., AS NECESSARY TO INSURE SAFETY.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

**LUCY HOMES**  
 6112 TUCKASEEGEE ROAD TOWNHOMES  
 PROJECT ADDRESS: 6112 Tuckaseegee Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT # 2022-020 DATE: 07/10/2023  
 DRAWN BY: GME CHECKED BY: JB  
 TITLE  
**DRAINAGE MAP**  
 SHEET NO.  
**C-8.0**

C:\Users\Greg\OneDrive\Design\Group\Dropbox\Projects\2022-2023-2020 - 6112 Tuckaseegee Rd\CAD\Drawings\2022-020 - Drainage Map.dwg GME

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**ENGINEERING**  
PCSO / DETENTION / DRAINAGE PLAN

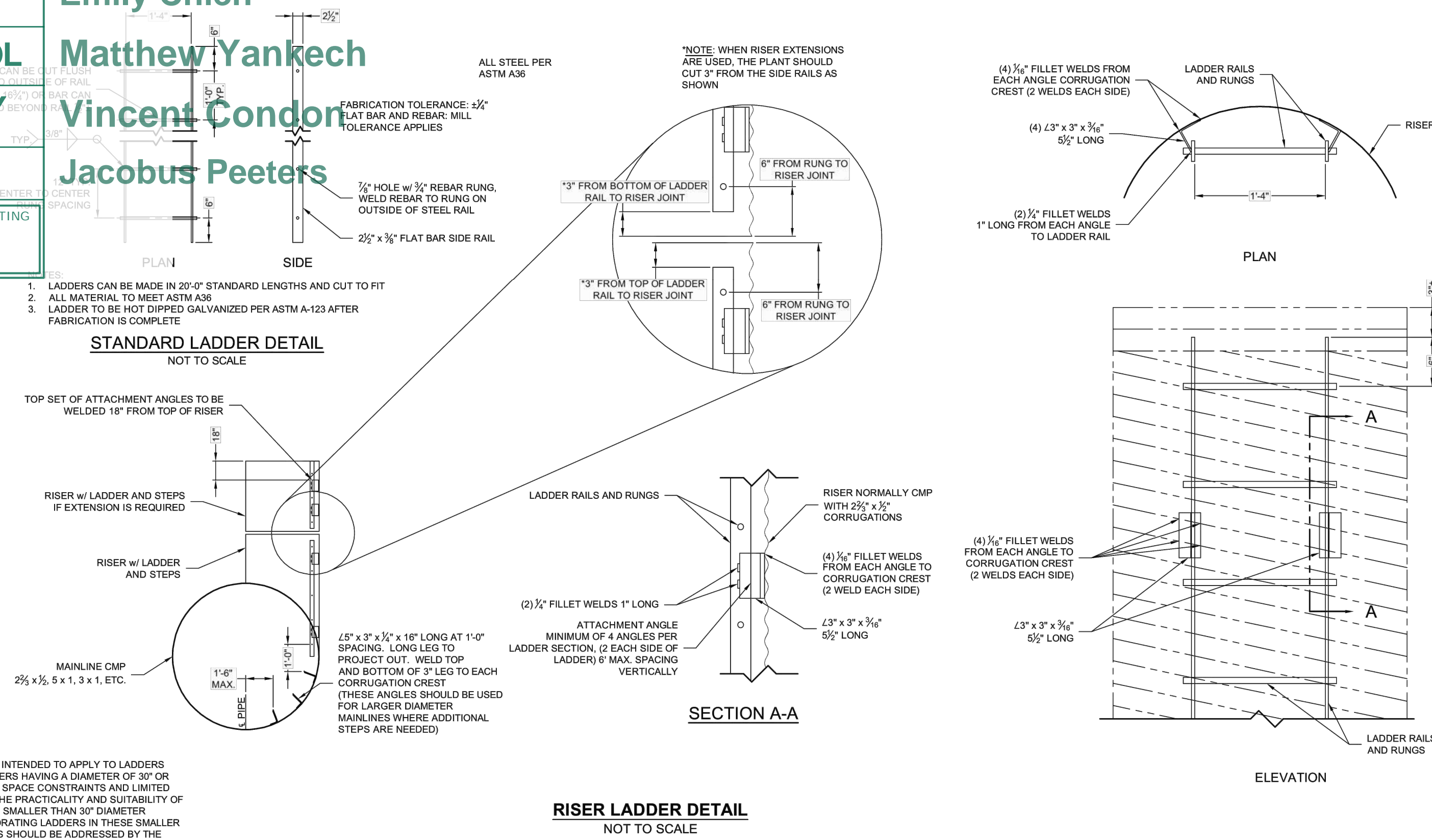
**EROSION CONTROL**

**URBAN FORESTRY**  
TREE ORDINANCE

**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

Emily Chien  
Matthew Yankech  
Vincent Condor  
Jacobus Peeters



- LADDERS CAN BE MADE IN 20'-0" STANDARD LENGTHS AND CUT TO FIT
- ALL MATERIAL TO MEET ASTM A36
- LADDER TO BE HOT DIPPED GALVANIZED PER ASTM A-123 AFTER FABRICATION IS COMPLETE

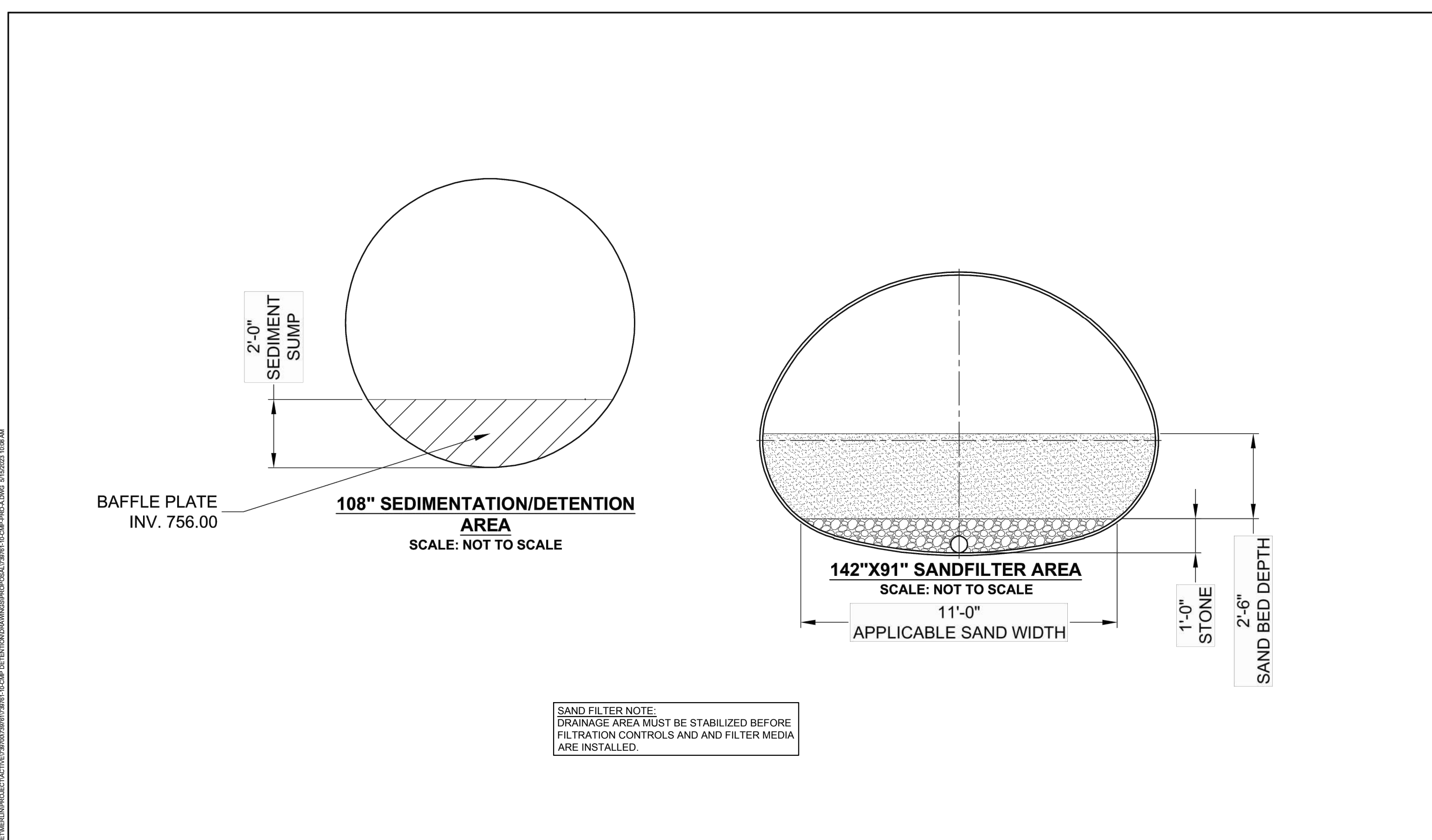
**STANDARD LADDER DETAIL**  
NOT TO SCALE

**RISER LADDER DETAIL**  
NOT TO SCALE



142"X91"Ø UNDERGROUND DETENTION SYSTEM - 739761-010  
TUCKASEEGEE ROAD  
CHARLOTTE, NC  
SITE DESIGNATION: SANDFILTER

PROJECT NO.	739761	BIG. NO.	010	DATE	2/17/2023
DESIGNED BY	BJY	DRAWN BY	BJY	CHECKED BY	BJY
APPROVED BY	BJY	DATE			
SHEET NO.	P5	OF	P7		



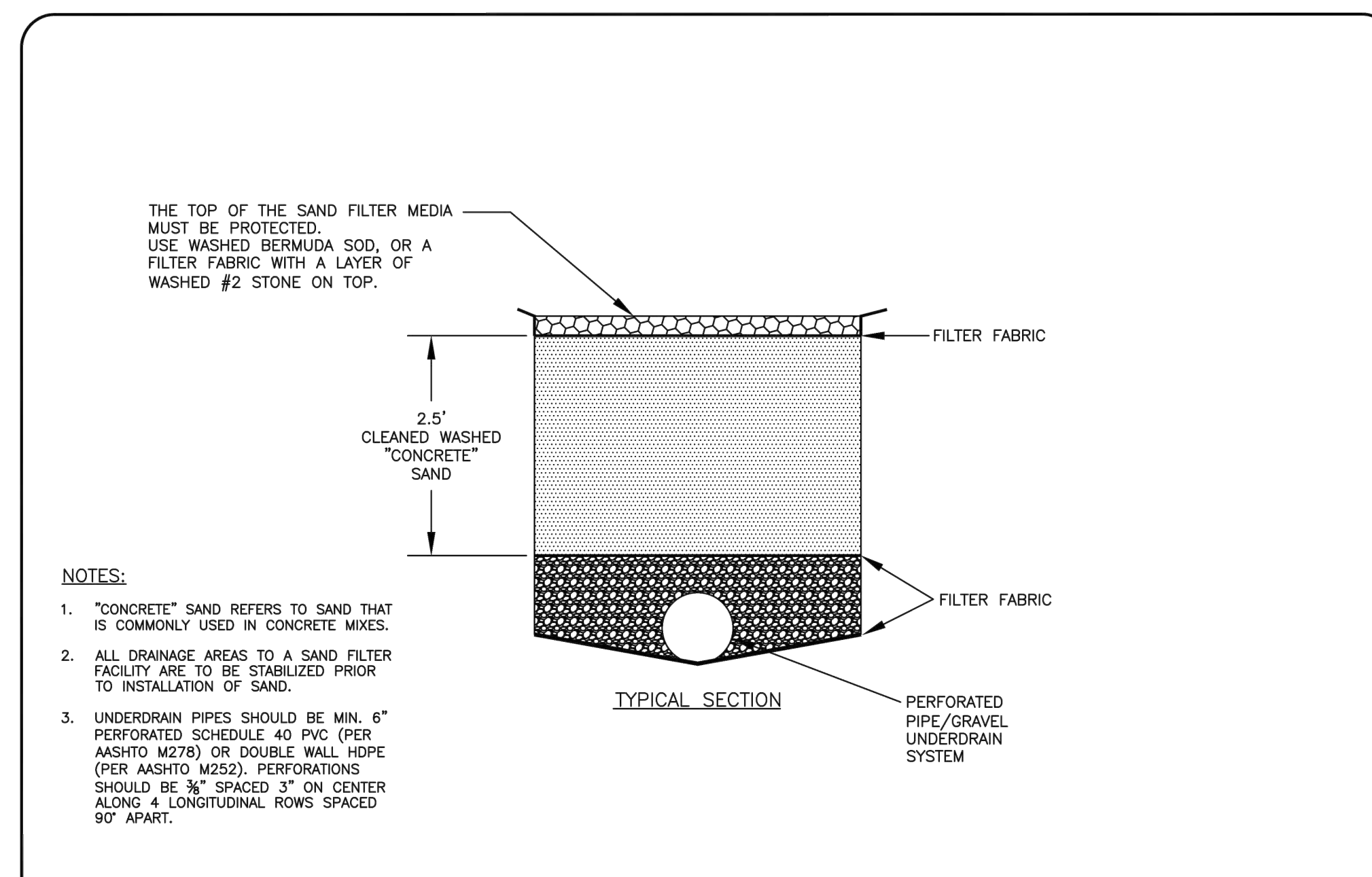
**SAND FILTER NOTE:**  
DRAINAGE AREA MUST BE STABILIZED BEFORE FILTRATION CONTROLS AND AND FILTER MEDIA ARE INSTALLED.



96", 142"X91"Ø UNDERGROUND DETENTION SYSTEM --  
TUCKASEEGEE ROAD  
Charlotte, NC  
SITE DESIGNATION: SANDFILTER

PROJECT NO.	739761	BIG. NO.	010	DATE	2/17/2023
DESIGNED BY	BJY	DRAWN BY	BJY	CHECKED BY	BJY
APPROVED BY	BJY	DATE			
SHEET NO.	P7	OF	P7		

BMP Inset Table	
Sand Filter	
Project Name:	5112 Tuckaseege Road Townhomes
Sequence ID:	1
Drainage Area (acres):	1.11
Land Use/Development Type:	0.25 to 1.5 acres - Residential
Vegetation Type:	N/A
Percent Built-Up Area:	78%
Sediment Chamber Length (ft.):	75
Sediment Chamber Width (ft.):	10
Sediment Chamber Height (ft.):	2
Sand Filter Type:	Underground
Media Depth (ft.):	2.5
Media Surface Area (ft <sup>2</sup> ):	363
Flow Diverter Present (Y/N):	N
Regulated By:	Post Construction Ordinance
Treatment Effectiveness:	Optimal
NC State Plane X (easting):	1424133.576
NC State Plane Y (northing):	549675.475

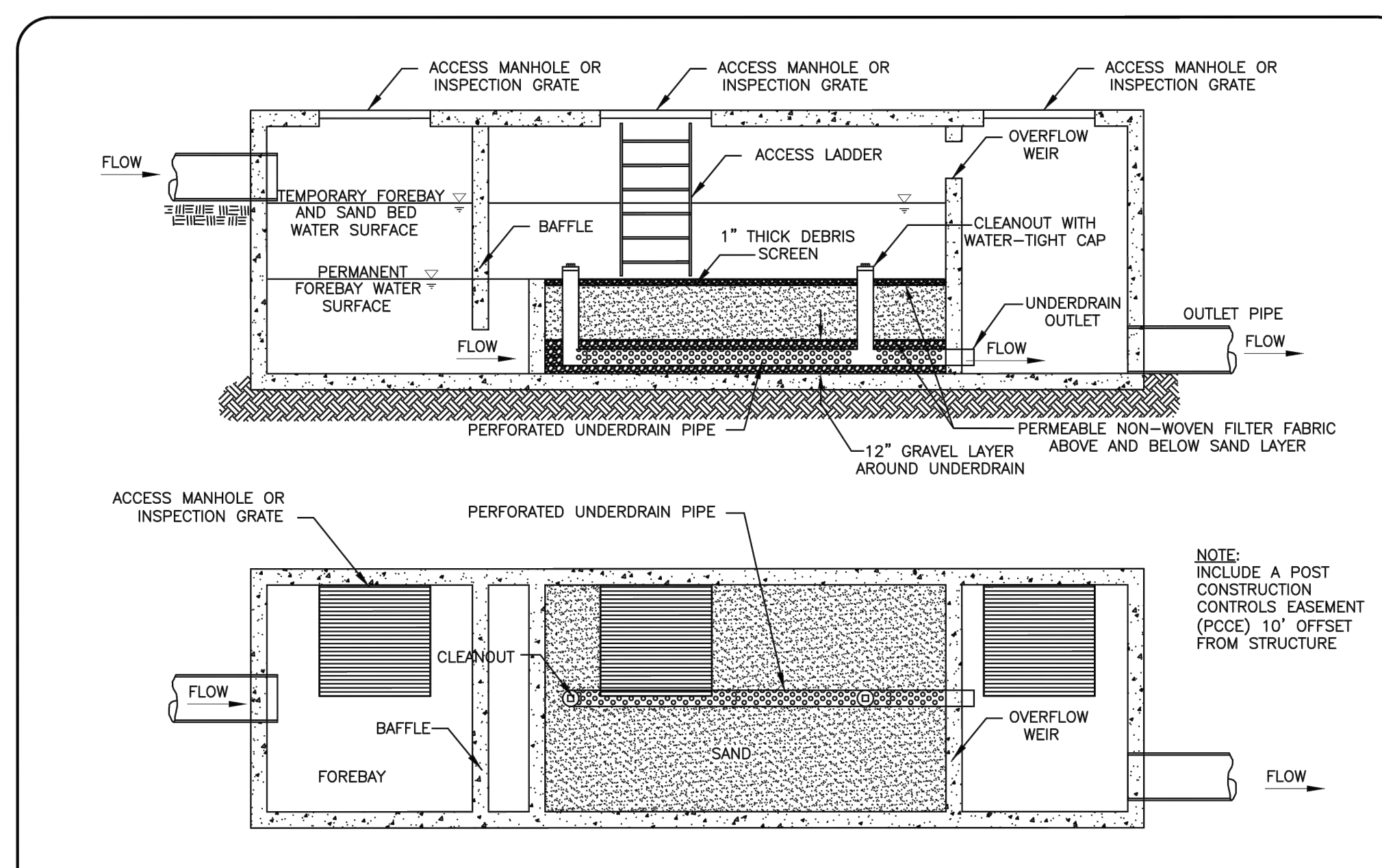


- NOTES:**
- "CONCRETE" SAND REFERS TO SAND THAT IS COMMONLY USED IN CONCRETE MIXES.
  - ALL DRAINAGE AREAS TO A SAND FILTER FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF SAND.
  - UNDERDRAIN PIPES SHOULD BE MIN. 6" PERFORATED SCHEDULE 40 PVC (PER AASHTO M278) OR DOUBLE WALL HDPE (PER AASHTO M252). PERFORATIONS SHOULD BE 3/8" SPACED 3" ON CENTER ALONG 4 LONGITUDINAL ROWS SPACED 90' APART.

**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**SURFACE SAND FILTER SECTION**

STD. NO. 21.25 REV. 18



- NOTE:**  
INCLUDE A POST CONSTRUCTION CONTROLS EASEMENT (PCE) 10' OFFSET FROM STRUCTURE

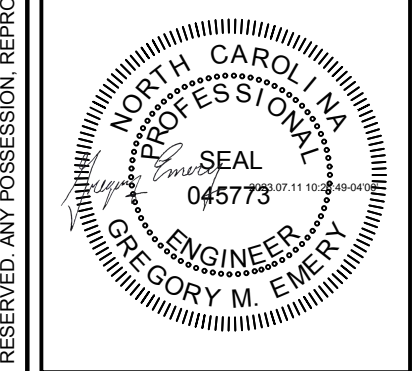
**CITY OF CHARLOTTE**  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

**UNDERGROUND SAND FILTER**

STD. NO. 21.23 REV. 5

**APPROVED FOR CONSTRUCTION**  
CHARLOTTE-MECKLENBURG COUNTY DEPARTMENT  
John W. [Signature]  
8/9/2023

**GATEWAY DESIGN GROUP, PLLC**  
8516 FOXBRIDGE DR WEDDINGTON, NC 28174  
910-840-2861  
NC FIRM # P-2147



**LUCY HOMES**  
6112 TUCKASEEGEE ROAD TOWNHOMES  
PROJECT ADDRESS: 6112 Tuckaseege Road Charlotte, NC 28208

NO.	BY	DATE	REVISION

PROJECT # 2022-020 DATE: 07/10/2023  
DRAWN BY: GME CHECKED BY: JB

TITLE  
**UNDERGROUND DETENTION DETAILS**

SHEET NO.  
**C-8.2**

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**CHARLOTTE**  
PLANNING DEPARTMENT  
FINAL APPROVAL  
PROJECT NUMBER: SDRMF-2023-00027  
DATE: 8/9/2023

**ENGINEERING BY CITY**  
PCSO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**  
TRUCKS FREE ZONE

**URBAN FORESTRY**  
TREE ORDINANCE

**CDOT**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

Emily Chien  
Matthew Yankech  
Vincent Condon  
Jacobus Peeters

REZONING PETITION 2022-052

APPROVED FOR CONSTRUCTION  
GATEWAY DESIGN GROUP, PLLC  
15126 CASTLEBRIDGE LANE, MATTHEWS, NC 28104  
910-840-2861  
NC FIRM # P-2147

- CDOT REQUIREMENTS**
- CDOT has the authority to regulate/approve all private street/driveway and public street connections to the right-of-way of a street under the regulatory jurisdiction of the City of Charlotte, per the City of Charlotte's Driveway Regulations.
  - Adequate sight triangles must be reserved at the existing/proposed street entrance(s). Two 50' x 50' sight triangles (and two 10' x 70' sight triangles on NCDOT-maintained streets) are required for the entrance(s) to meet requirements. All proposed trees, berms, walls, fences, and/or identification signs shall not interfere with sight distance at the entrance(s) and shall be identified on the site plan.
  - The proposed driveway connection(s) to public streets will require a driveway permit(s) to be submitted to CDOT (and NCDOT on NCDOT-maintained streets) for review and approval. The exact driveway location(s) and type/width of the driveway(s) will be determined by CDOT during the driveway permit process. The locations of the driveway(s) shown on the site plan are subject to change in order to align with driveway(s) on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
  - All proposed commercial driveway connections to a future public street will require a driveway permit submitted to CDOT for review and approval.
  - Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
  - A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City-maintained street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to construction/installation. Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.
  - The petitioner needs to complete and submit the Right of Way Abandonment Petition form to CDOT for review. The decision of this rezoning petition does not correlate with the decision of the possible abandonment, as this decision is issued within the separate Right of Way Abandonment process that is controlled by North Carolina General Statutes.
  - To attain a street and pedestrian lighting recommendation, the petitioner should coordinate with Anthony Mendez, CDOT. Please visit the following link: [https://charlottenc.gov/Transportation/Programs/Pages/Street\\_lighting.aspx](https://charlottenc.gov/Transportation/Programs/Pages/Street_lighting.aspx)

**VICINITY MAP**  
N.T.S.

**General Provisions:**  
These Development Standards form part of the Rezoning Plan associated with the Rezoning Petition filed by Carolinas Properties, LLC (the "Petitioner") to accommodate the development of a residential community on an approximate 2.06 acre site located at 6112 Tuckaseegee Road, which is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of tax parcel number 05911329.

Development of the Site shall be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the "R-17MF" Zoning District shall govern all development taking place on the Site. The configurations, placements and sizes of the buildings, parking areas, tree save area, common open space, private roads and ancillary site elements depicted on the Rezoning Plan are schematic in nature and therefore are subject to refinements as part of the total design process. Since the project has not undergone the design development and construction phases, it is intended that this Rezoning Plan provide for flexibility in allowing some alterations or modifications from the graphic representations of the Development/Site Elements.

- Permitted Uses:**
- Uses allowed within the rezoning area shall be limited to single family attached residential uses allowable within the R-17MF zoning district. Allowable single family attached residential uses shall be limited on site as described within the following descriptions and as generally illustrated within the Site plan.
  - A maximum of Twenty-Nine (29) total single family attached units and may include up to Four (4) single family attached units per building, as depicted on the Site plan.
  - Maximum height shall not exceed forty (40') feet measured as set forth in the Zoning Ordinance.

- Transportation:**
- Vehicular and pedestrian access to the site from Tuckaseegee Road will be as generally depicted on the Rezoning Plan.
  - The placement and configuration of the vehicular access points shown on the Rezoning Plan is subject to any minor modifications required to accommodate final site and construction plans and designs.
  - Internal vehicular access to the site provided as generally depicted on the Site Plan.
  - Public sidewalk improvements shall include 8' landscape strip and 8' sidewalk along Tuckaseegee Road.
  - All transportation improvements within the public right of way shall be approved and constructed before the site's first building certificate of occupancy is issued.
  - The petitioner shall either dedicate fee simple conveyance of all rights of way and sidewalks to the City of Charlotte, or, provide an easement of all rights of way and sidewalks to the City of Charlotte prior to the Site's first building certificate of occupancy is issued.
  - A minimum of (0.5) guest parking spaces shall be provided per unit.

**Architectural and Design Standards:**  
The exterior building materials for all four sides will be primarily of brick, cementitious siding, precast concrete, and/or stone, EIFS, stucco, metal panel (excluding windows, doors, soffits, gables, roof, and architectural detail or trim). The use of vinyl/aluminum siding (excluding windows, doors, and significant architectural material change (not in the same plane).

Buildings shall not exceed 150' in length  
Blank wall area shall not exceed 20'  
Porches, Stoops or corner windows shall be located at all building corners facing a public street.  
Townhome entries shall be recessed or raised with a canopy. The primary pedestrian entry to each townhome shall face a frontage (street, vehicular way or common green space).  
Townhomes shall have one of the following features: Corner Porch, Variation in façade of at least 2' within the unit façade, balconies, bay windows or significant architectural material change (not in the same plane).

- Fence Wall Standards**
- Fence standards shall comply with proposed zoning. Chain link fences are not allowed.

- Streetscape and Landscaping:**
- The Petitioner shall provide an 8 ft planting strip and an 8 ft sidewalk on Tuckaseegee Rd as generally shown on the site plan.
  - Petitioner shall comply with the City of Charlotte Tree Ordinance.
  - Petitioner shall construct curb and gutter along the frontage of Tuckaseegee Road measured 27-feet from the existing centerline to back of curb.
  - Petitioner shall dedicate 45-feet of right-of-way along the site's frontage of Tuckaseegee Road.
  - Petitioner shall provide an 8-foot bicycle lane along the site's frontage of Tuckaseegee Road.
  - All public roadway improvements will be subject to the standards and criteria of CDOT and will be subject to CDOT approval during permitting.
  - Site shall comply with the City of Charlotte Tree Ordinance.

- Environmental Features:**
- The Petitioner shall comply with the City of Charlotte Post Construction Ordinance.
  - The location, size, and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

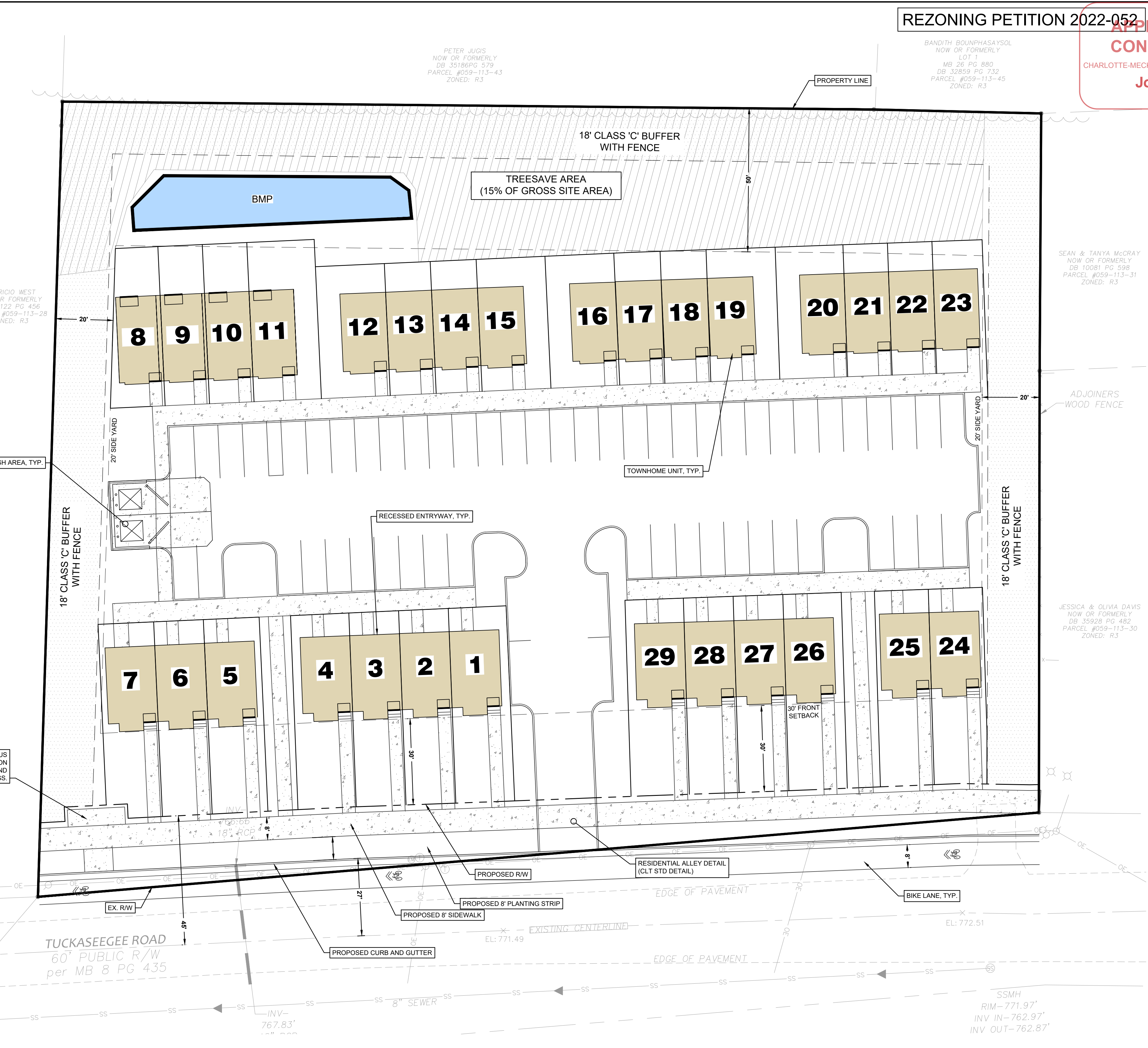
- Lighting:**
- All attached and detached lighting will be full cutoff fixtures and downwardly directed. However, upward facing architectural and landscape accent lighting shall be permitted.

- Amendments to Rezoning Plan:**
- Future amendments to the Technical Data Sheet or these Development Standards may be applied for by the then Owner or Owners of the parcel or parcels within the Site involved in accordance with the provisions of Chapter 6 of the Ordinance. Further alterations or modifications to the Rezoning Plan which, in the opinion of the Planning Director, substantially alter the character of the development or significantly alter the approved Technical Data Sheet or any of its conditions or which increase the intensity of development shall not be deemed to be minor and may only be made in accordance with the provisions of Subsections 6.207(1) or (2) of the Ordinance, as applicable.

- Binding Effect of the Rezoning Documents and Definitions:**
- If this Site Plan Amendment is approved, all conditions applicable to development of the Site imposed under the Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
  - Throughout these Development Standards, the terms, "Petitioner" and "owner" and "owners" shall be deemed to include the heirs, devisees, personal representatives, successors or interest or assigns.

**SITE DEVELOPMENT TABLE:**

TAX MAP NUMBER: 05911329	REQUIRED PARKING: PARKING WILL BE PROVIDED PER THE ORDINANCE
EXISTING ZONING: R-3	PROVIDED PARKING: PARKING WILL BE PROVIDED PER THE ORDINANCE
PROPOSED ZONING: R-17MF(CD)	GUEST PARKING PROVIDED: 14 GUEST SPACES PROVIDED
SITE AREA: 2.06 AC	SETBACKS AND YARDS:
DEED INFORMATION: DB 36925 PG 91	FRONT: 30 FT FROM R/W
	SIDE: 10 FT OR 20 FT ADJOINING SFR
	REAR: 40 FT OR 50 FT ADJOINING SFR
	MAX HEIGHT OF BUILDING: 40 FT.
	WATER: CHARLOTTE WATER (PUBLIC)
	SEWER: CHARLOTTE WATER (PUBLIC)
PROPOSED USE: SINGLE FAMILY ATTACHED RESIDENTIAL UNITS	UTILITIES: ALL UTILITIES WILL BE UNDERGROUND AS REQUIRED BY CURRENT LAND DEVELOPMENT STANDARDS
PROPOSED UNITS: 29	
PROPOSED DENSITY: 14.1 UNITS/ACRE	
TOTAL UNITS ALLOWED: 29	
GARBAGE COLLECTION: DUMPSTER	
	POST CONSTRUCTION DISTRICT: WESTERN CATAWBA
	WATERSHED: PAW
	WATERSHED OVERLAY: LOWER LAKE WYLIE PROTECTED AREA (MAX BUA 70%)
TREE SAVE REQUIRED: 15%	FLOOD DATA: ZONE 'X' PER COMMUNITY PANEL
TREE SAVE PROVIDED: 15%	371045-2400K, EFF. 9/2/2015
OPEN SPACE REQUIRED: OPEN SPACE WILL BE PROVIDED PER THE ORDINANCE	SITE IMPERVIOUS: 1.44 AC.
OPEN SPACE PROVIDED: OPEN SPACE WILL BE PROVIDED PER THE ORDINANCE	SITE IMPERVIOUS %: 69.9%



**Storm Water Impacts**  
This property drains to Paw Creek, which is an impaired/degraded stream, and may contribute to downstream flooding. This project has the opportunity to mitigate future impacts to this stream, therefore, Storm Water recommends placing the following notes on the plan:

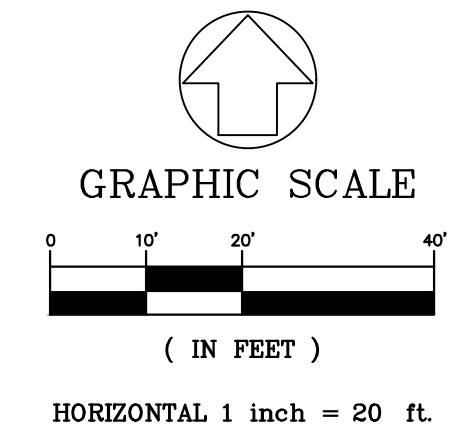
- Storm Water Quality Treatment**  
For defined watersheds greater than 12% built-upon area (BUA), construct water quality stormwater control measures (SCMs) designed for the runoff generated from the first 1-inch of rainfall for all new and redeveloped BUA associated with the project. SCMs must be designed and constructed in accordance with the Charlotte-Mecklenburg BMP Design Manual.
- Volume and Peak Control**  
For defined watersheds greater than 12% built-upon area, control the entire volume for the 1-year, 24-hour storm for all new and redeveloped BUA associated with the project. Runoff volume drawdown time shall be in accordance with the Charlotte-Mecklenburg BMP Design Manual.

For commercial projects with greater than 12% BUA, control the peak to not exceed the predevelopment runoff rates for the 10-yr, 6-hr storm and perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency, or if a downstream analysis is not performed, control the peak for the 10-yr and 25-yr, 6-hour storms.

For residential projects with greater than 12% BUA, control the peak to not exceed the predevelopment runoff rates for the 10-yr, 6-hr storm and perform a downstream analysis to determine whether peak control is needed, and if so, for what level of storm frequency.

Staff is available to discuss mitigation options prior to the rezoning plan approval should the project have practical constraints that preclude providing the above referenced stormwater management.

**URBAN FORESTRY NOTE:**  
TREESAVE GUIDELINES SHALL GOVERN TREESAVE AREA REQUIREMENTS. ALL TREESAVE AREAS SHALL BE REQUIRED TO MEET REQUIREMENTS SET FORTH IN CHARLOTTE TREE ORDINANCE.



**NOTE:**  
THIS SITE PLAN IS DEPICTIVE / CONCEPTUAL IN NATURE. MINOR ADJUSTMENTS TO THE LAYOUT MAY BE ALLOWED / NEEDED DURING SITE DESIGN AND DEVELOPMENT AFTER THE REZONING IS APPROVED. THIS SHALL BE ACCEPTABLE AS LONG AS THE INTENT OF THE REZONING IS UPHOLD.

**NOTE:**  
UNIT SIZES SHOWN ARE APPROXIMATE. ACTUAL UNIT SIZES MAY VARY WITHIN BUILDING ENVELOPE.

REZONING PETITION 2022-052

REZONING PLAN

SHEET NO. RZ-1

PROJECT # 2022-020 DATE: 10/26/2022  
DRAWN BY: JB CHECKED BY: JB

NO. BY DATE

REVISION

**ENGINEERING**  
 PCSO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**

**URBAN FORESTRY**  
 TREE ORDINANCE

**CDOT**

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Charlotte, North Carolina 28202  
 Tony F. Miller, AIA LEED AP #6201  
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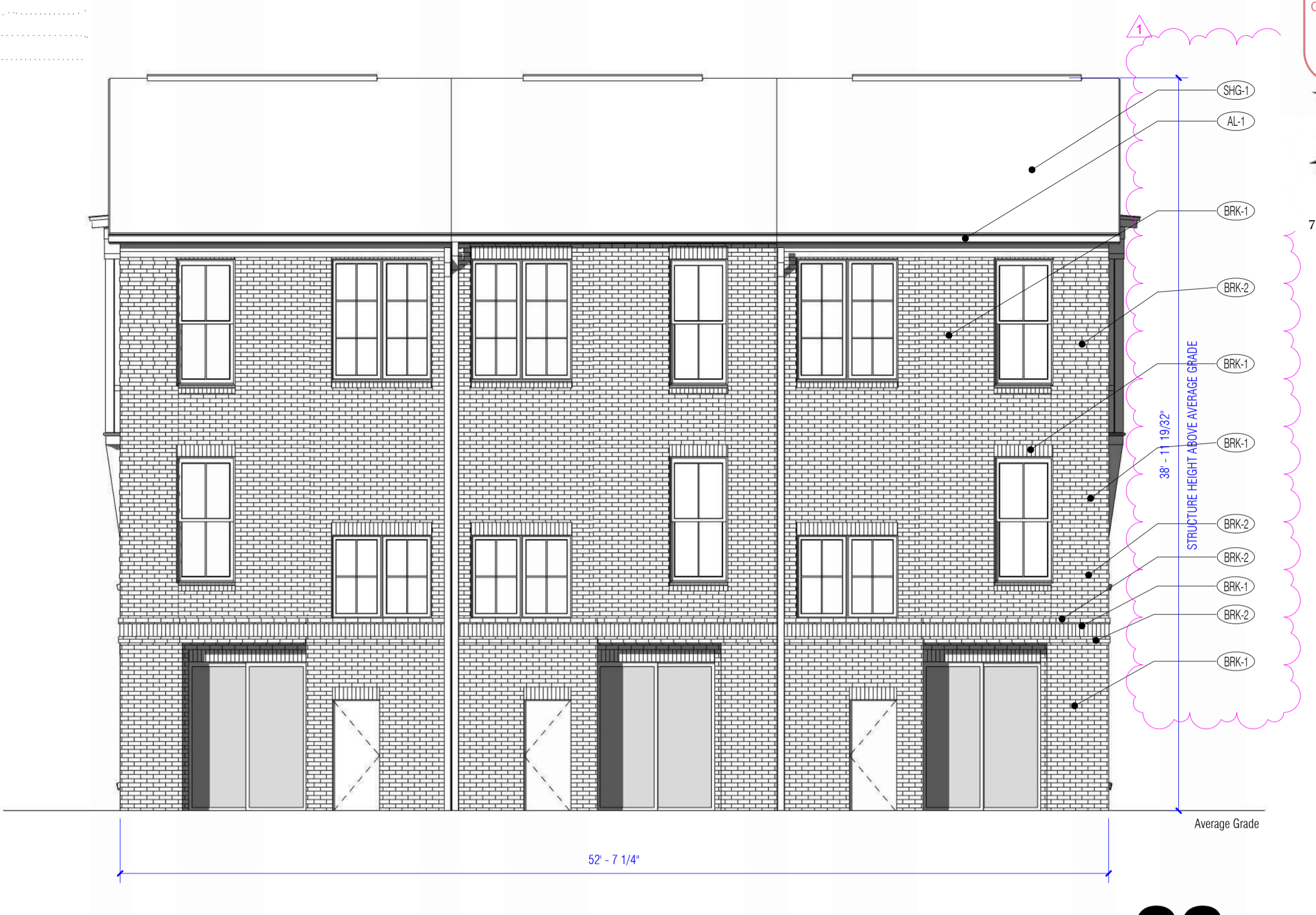
**Emily Chien**  
**Matthew Yankech**  
**Vincent Condon**  
**Jacobus Peeters**



**15**  
 PERSPECTIVE VIEW



**07**  
 SIDE ELEVATION  
 3/16" = 1'-0"



**03**  
 REAR ELEVATION  
 3/16" = 1'-0"

Exterior Materials Key			
KEY	DESCRIPTION	SIZE	LOCATION - See Elevations
AL-1	Aluminum Gutter and Downspout - Color to Match Facade		As Noted on Elevations
BRK-1	Triangle Brick - Condon	Modular	Majority Modular Face Brick
BRK-2	Green Leaf Brick - Black Walnut	Modular	Accent Brick Bands & Accents
MTR-1	Dark Grey Mortar by Holcim	3/8" Joints	All Face Brick & Brick Pavers
WD-1	Cedar Brackets Color to Match Trim	See Details	Typical Wood Bracket as Noted on Elevations
SID-1	James Hardie - Hardie Panel Vertical Siding - Iron Gray	Smooth Texture	Typical Siding as Noted on Elevations
SID-2	James Hardie - Hardie Trim Smooth Batwing Boards - Iron Gray	Smooth Texture	Typical Siding Accent as Noted on Elevations
TRM-1	James Hardie Trim	4" Smooth Texture	Typical Trim
TRM-2	James Hardie Trim	6" Smooth Texture	Typical Trim
TRM-3	James Hardie Trim	8" Smooth Texture	Typical Trim
TRM-4	James Hardie Trim	12" Smooth Texture	Typical Trim
MFL-1	Meyer Sains Manufacturing Corporation - Image 1, 12" Shaded Metal Roof		Roofing as Noted on Elevations
SDS-1	36" Face "Weather Gray" Shingles GAF - Timberline Natural Shingles		Roofing as Noted on Elevations



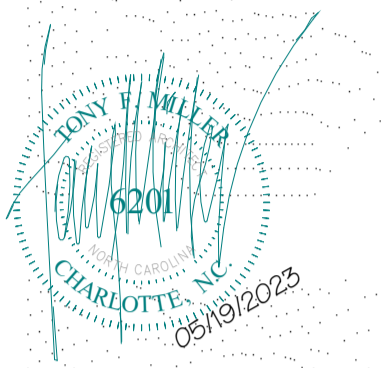
**05**  
 SIDE ELEVATION  
 3/16" = 1'-0"



**01**  
 FRONT ELEVATION  
 3/16" = 1'-0"

**APPROVED FOR CONSTRUCTION**  
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
**Josh Weaver**  
 02/02/2023

**MILLER ARCHITECTURE**  
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 WWW.MILLERARCHITECTURE.COM



STRUCTURAL ENGINEER

**6112 TUCKASEEGEE TOWNHOMES**  
 LAND-FOR-SALE  
 6112 Tuckaseegee Road  
 FOR  
 CAROLINA PROPERTIES, LLC  
 1401 FUNNY CIDE DR.  
 WAXHAW, NC 28173  
 718.607.4595

ISSUED FOR: Civil Review  
 ISSUE DATE: 05/19/2023  
 REVISIONS  
 No. 1 Description Date  
 Civil Review Comments 07/07/2023

STRUCTURE ELEVATIONS - UNITS 1-3, 8-10, 11-13  
 Tuckaseegee Townhomes  
 FILE NAME: 6112\_Triplex.rvt  
 DRAWN BY: DZ  
 CHECKED BY: TFM

**A201**

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**ENGINEERING**  
 PCSO / DETENTION / DRAINAGE PLAN  
**EROSION CONTROL**  
**URBAN FORESTRY**  
 TREE ORDINANCE  
**CDOT**

**Emily Chien**  
**Matthew Yankech**  
**Vincent Condon**  
**Jacobus Peeters**

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**14** **07**  
 PERSPECTIVE VIEW SIDE ELEVATION  
 3/16" = 1'-0"



**03**  
 REAR ELEVATION  
 3/16" = 1'-0"

KEY	DESCRIPTION	SIZE	LOCATION - See Elevations
AL-1	Aluminum Gutter and Downspout - Color to Match Fascia		As Noted on Elevations
BRK-1	Triangl Brick - Cantillon	Modular	Majority Modular Face Brick
BRK-2	Green Leaf Brick - Black Walnut	Modular	Accent Brick Bands & Accents
TRM-1	Dark Gray Mortar by Holman	3/8" joints	At All Face Brick & Brick Pavens
WD-1	Center Brackets Color to Match Trim	See Details	Typical Wood Brackets as Noted on Elevations
SID-1	James Hardie - Hardie Panel Vertical Siding - Iron Gray	Smooth Texture	Typical Siding as Noted on Elevations
SID-2	James Hardie - Hardie Trim Smooth Siding - Iron Gray	Smooth Texture	Typical Siding Accent as Noted on Elevations
TRM-1	James Hardie Trim	1" Smooth Texture	Typical Trim
TRM-2	James Hardie Trim	1/2" Smooth Texture	Typical Trim
TRM-3	James Hardie Trim	1/2" Smooth Texture	Typical Trim
TRM-4	James Hardie Trim	1/2" Smooth Texture	Typical Trim
SHG-1	Weld Steel Manufacturing Corporation - Image 1, 12" Shaded Metal Roof		Roofing as Noted on Elevations
SHG-2	30 Year "Weather Gray" Shingle GAF Timberline Nature Shingles		Roofing as Noted on Elevations



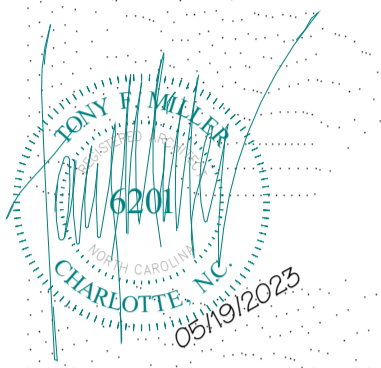
**05**  
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**01**  
 FRONT ELEVATION  
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**APPROVED FOR CONSTRUCTION**  
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
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ISSUED FOR: Civil Review  
 ISSUE DATE: 05/19/2023  
 REVISIONS  
 No. 1 Description Date  
 Civil Review Comments 07/07/2023

**STRUCTURE ELEVATIONS - UNITS 4-7**

Tuckaseegee Townhomes 6112\_4  
 FILE NAME: Unit.rvt  
 DRAWN BY: DZ  
 CHECKED BY: TFM

**A202**

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 PCSO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**

**URBAN FORESTRY**  
 TREE ORDINANCE

**CDOT**

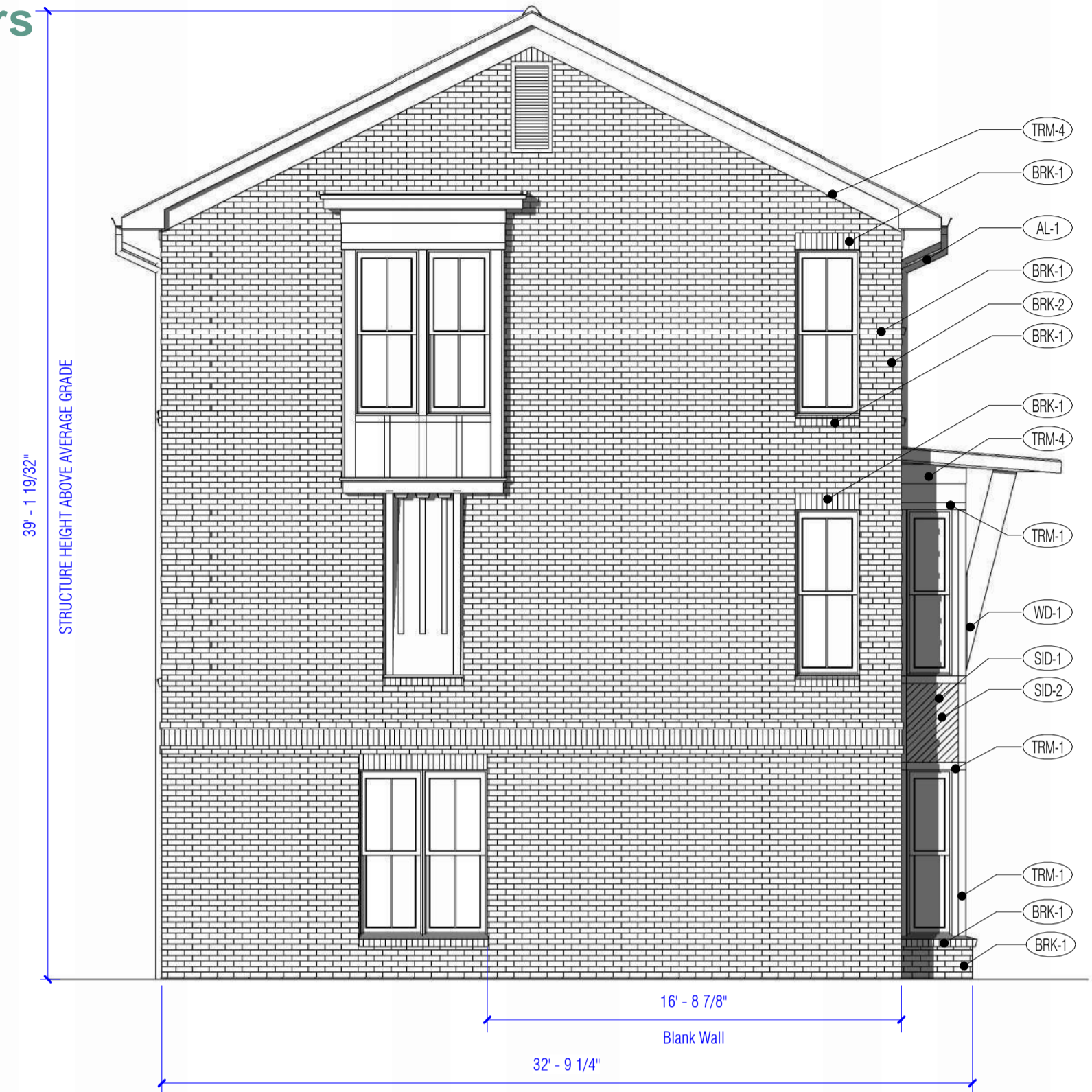
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**15**  
 PERSPECTIVE VIEW



**07**  
 SIDE ELEVATION  
 3/16" = 1'-0"



**03**  
 REAR ELEVATION  
 3/16" = 1'-0"

Exterior Materials Key			
KEY	DESCRIPTION	SIZE	LOCATION - See Elevations
AL-1	Aluminum Gutter and Downspout - Color to Match Fascia		No Noted on Elevations
BRK-1	Orange Brick - Cannon	Modular	Majority Modular Face Brick
BRK-2	Green Leaf Brick - Black Mortar	Modular	Accent Brick Bands & Accents
MFB-1	Dark Grey Mortar by Heston	3/8" joints	All All Face Brick & Brick Flatters
WD-1	Color Brackets Color to Match Trim	See Details	Typical Wood Bracket as Noted on Elevations
SD-1	Jarvis Handle - Hardie Panel Vertical Siding - Iron Gray	Smooth Texture	Typical Siding as Noted on Elevations
SD-2	Jarvis Handle - Hardie Trim Smooth Below Brackets - Iron Gray	Smooth Texture	Typical Siding as Noted on Elevations
TRM-1	Jarvis Handle Trim	1" Smooth Texture	Typical Trim
TRM-2	Jarvis Handle Trim	1" Smooth Texture	Typical Trim
TRM-3	Jarvis Handle Trim	1" Smooth Texture	Typical Trim
TRM-4	Jarvis Handle Trim	1" Smooth Texture	Typical Trim
MFI-1	Metal Siding Manufacturing Corporation - Image 11 12" Shaded Metal Roof		Roofing as Noted on Elevations
SHG-1	30 Year "Phenix Gray" Storage GAF Timberline Natural Shingles		Roofing as Noted on Elevations

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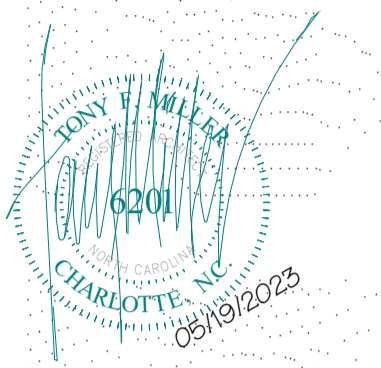
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 Description: Civil Review Comments  
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**STRUCTURE ELEVATIONS - UNITS 14-25**

Tuckasegee Townhomes 6112\_4  
 FILE NAME: Unit\_Units 14-25.rvt  
 DRAWN BY: DZ  
 CHECKED BY: TEM

**A203**